

TOWN OF BLOOMFIELD

PLAN & ZONING COMMISSION

SPECIAL PERMIT APPLICATION

FOR

AYR WELLNESS

PROPOSED CULTIVATION FACILITY
#101 GRANBY STREET & TOBEY STREET
BLOOMFIELD, CONNECTICUT

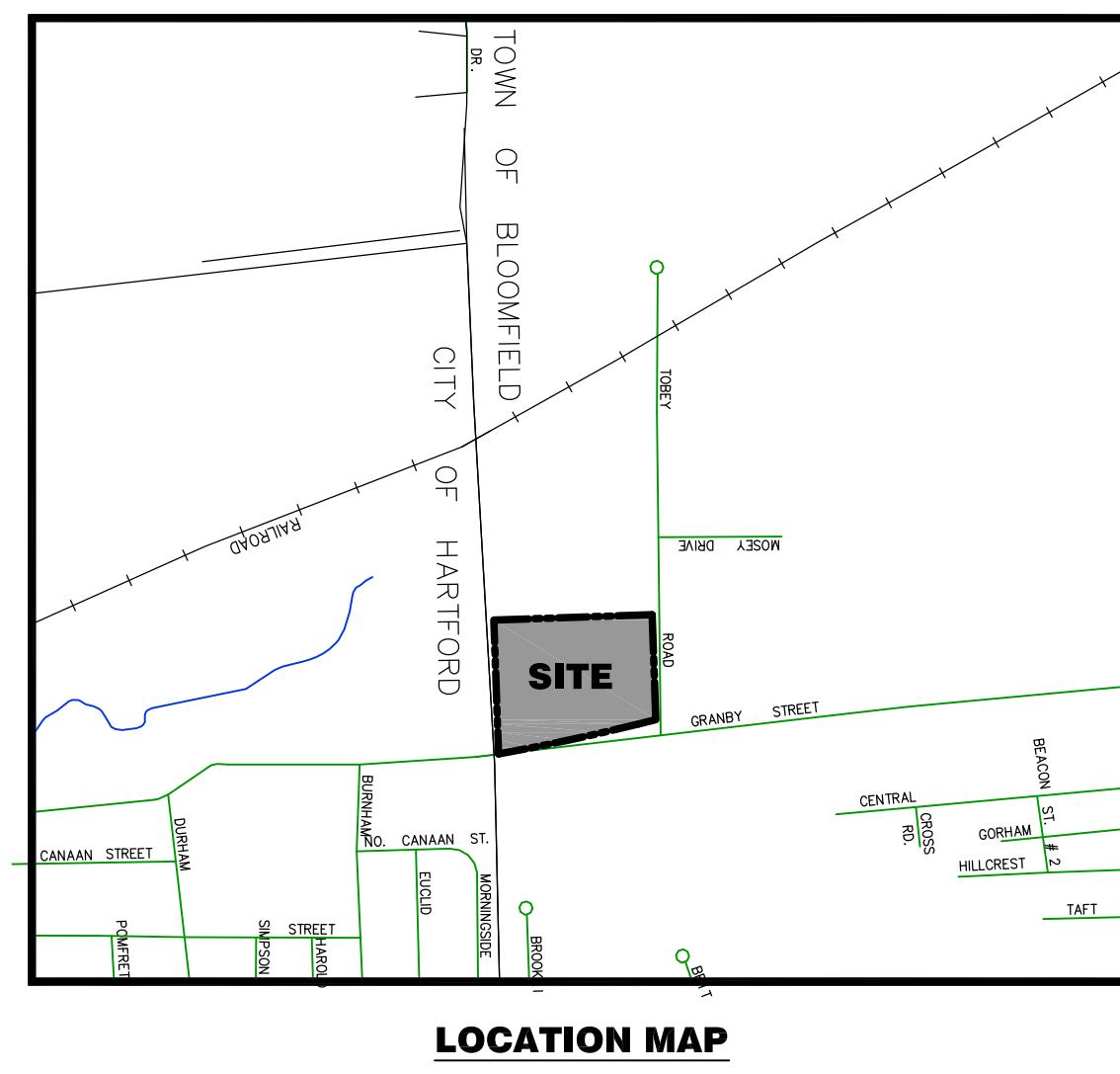
SUBMIT DATE: AUGUST 1, 2023

OWNER

GRANBY TOBEY LLC
16 TOBEY ROAD
BLOOMFIELD, CT 06002

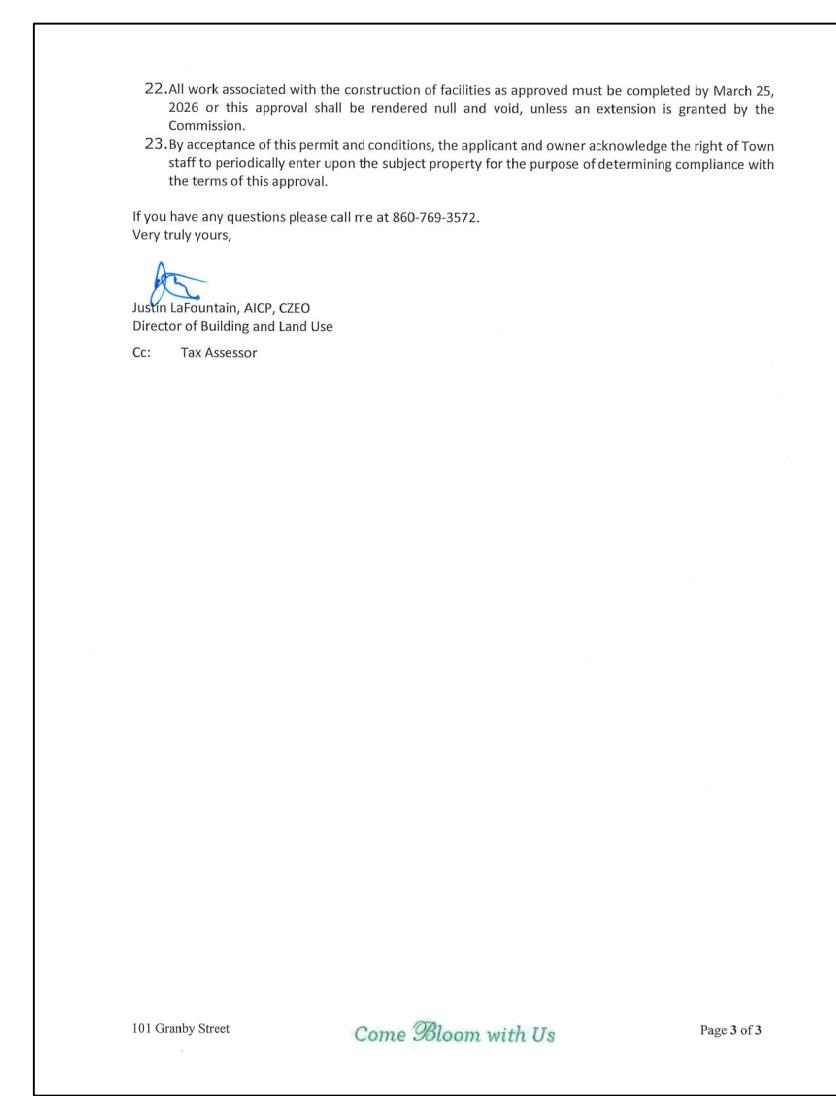
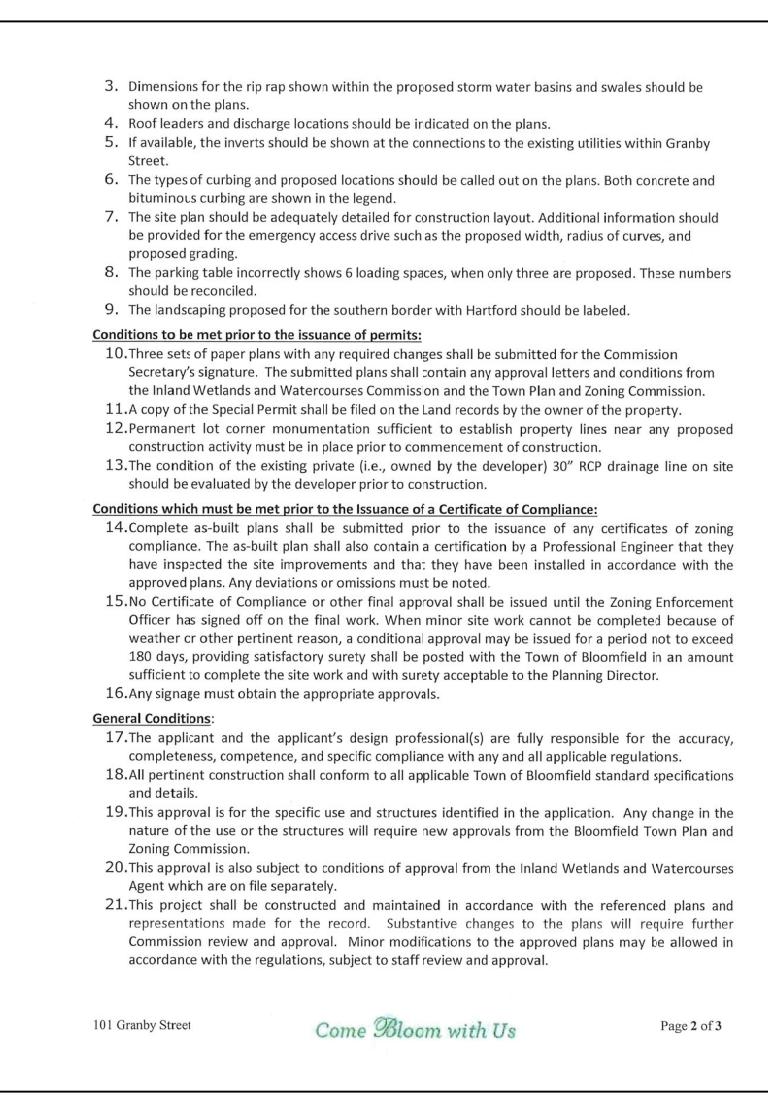
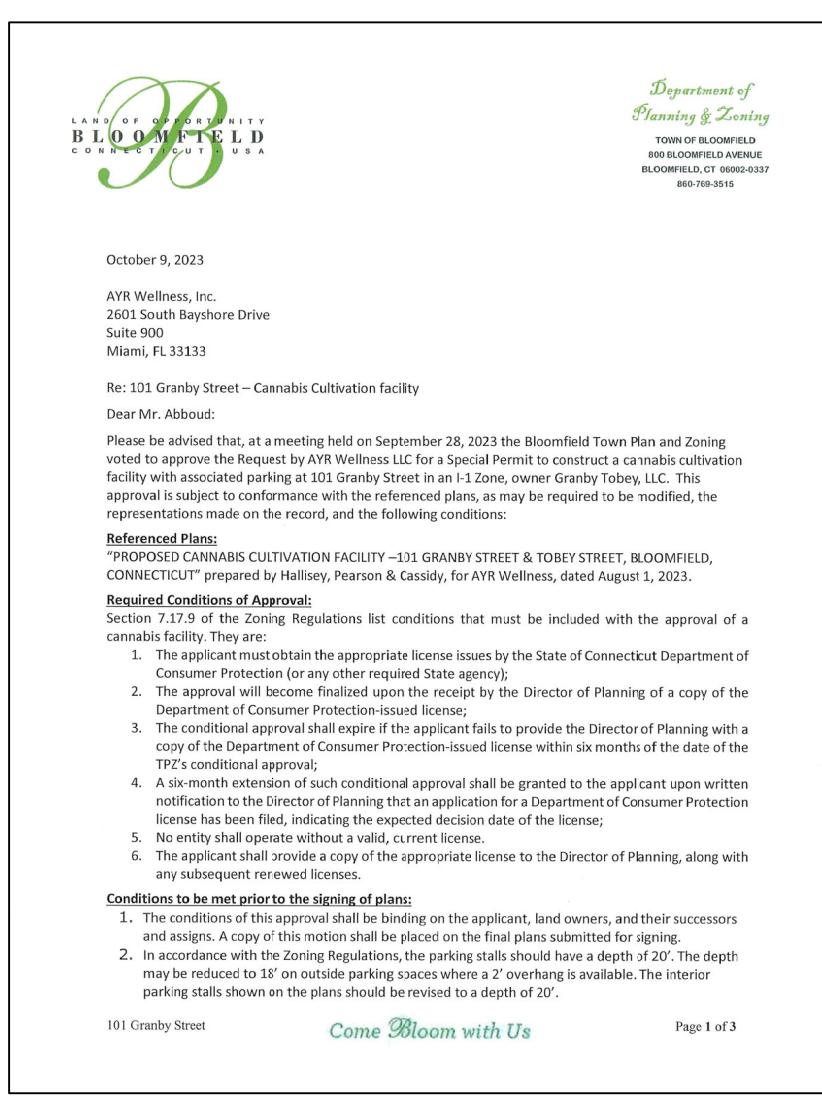
APPLICANT & DEVELOPER

AYR WELLNESS
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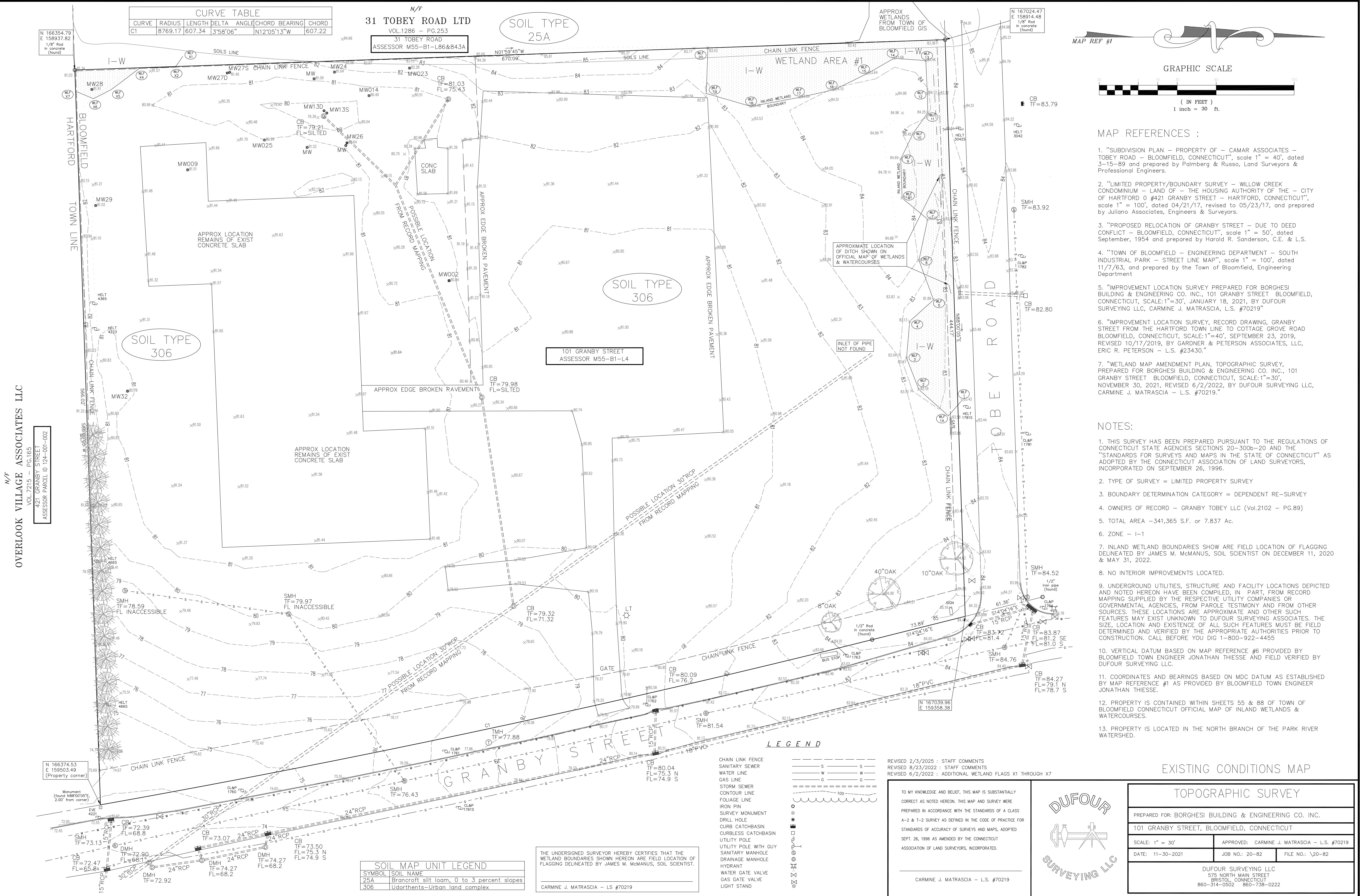
SHEET INDEX

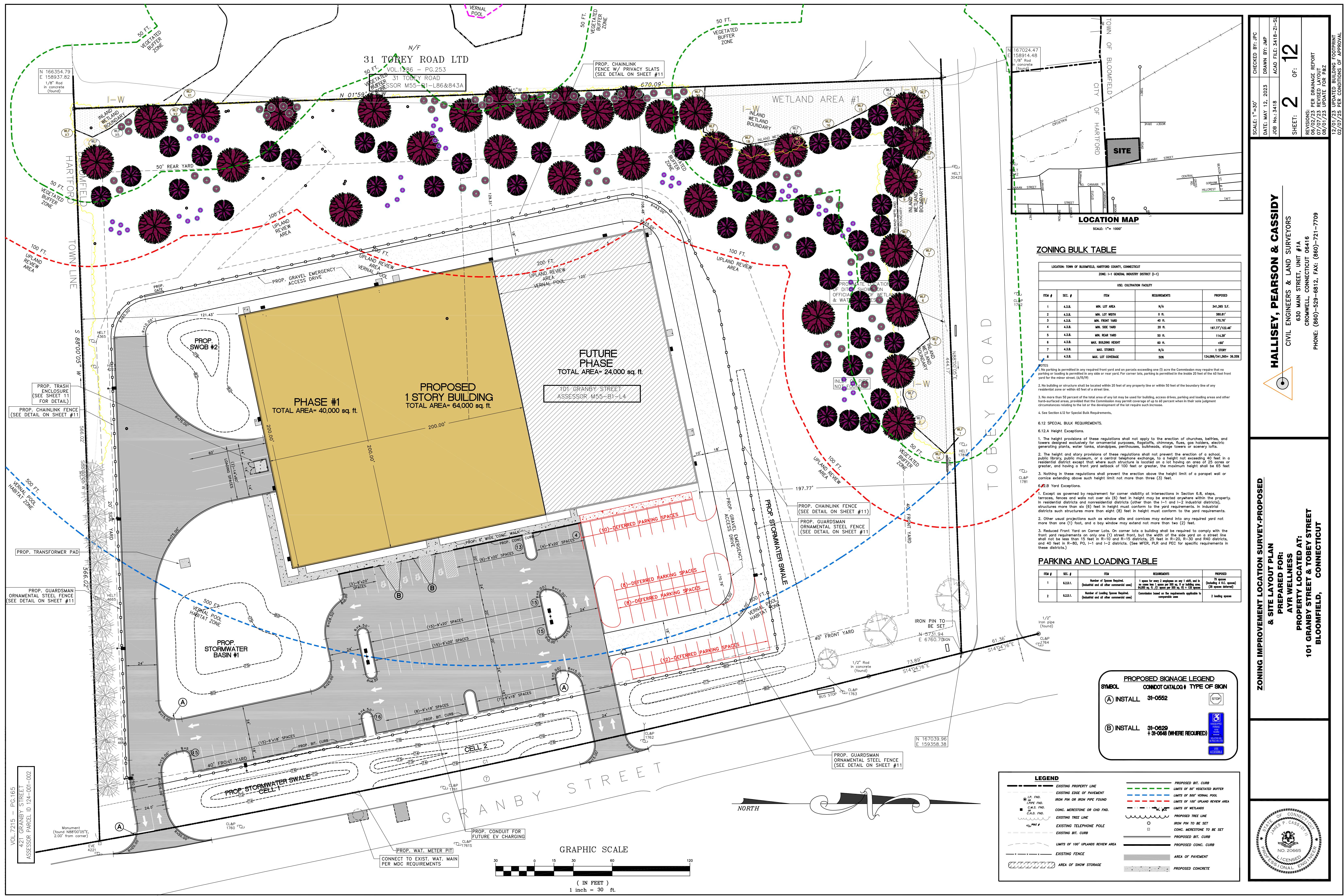
SHEET #	DRAWING TITLE
1	TOPOGRAPHIC SURVEY
2	ZONING IMPROVEMENT LOCATION SURVEY/SITE LAYOUT PLAN
3	SITE GRADING AND DRAINAGE PLAN
4	SITE UTILITIES PLAN
5	SITE EROSION & SEDIMENT CONTROL PLAN
6	GENERAL SITE NOTES
7	EROSION & SEDIMENT CONTROL NOTES
8-12	SITE DETAILS
LP-1	LANDSCAPING PLAN
SD01	FLOOR PLAN
SD02	EXTERIOR BUILDING ELEVATIONS

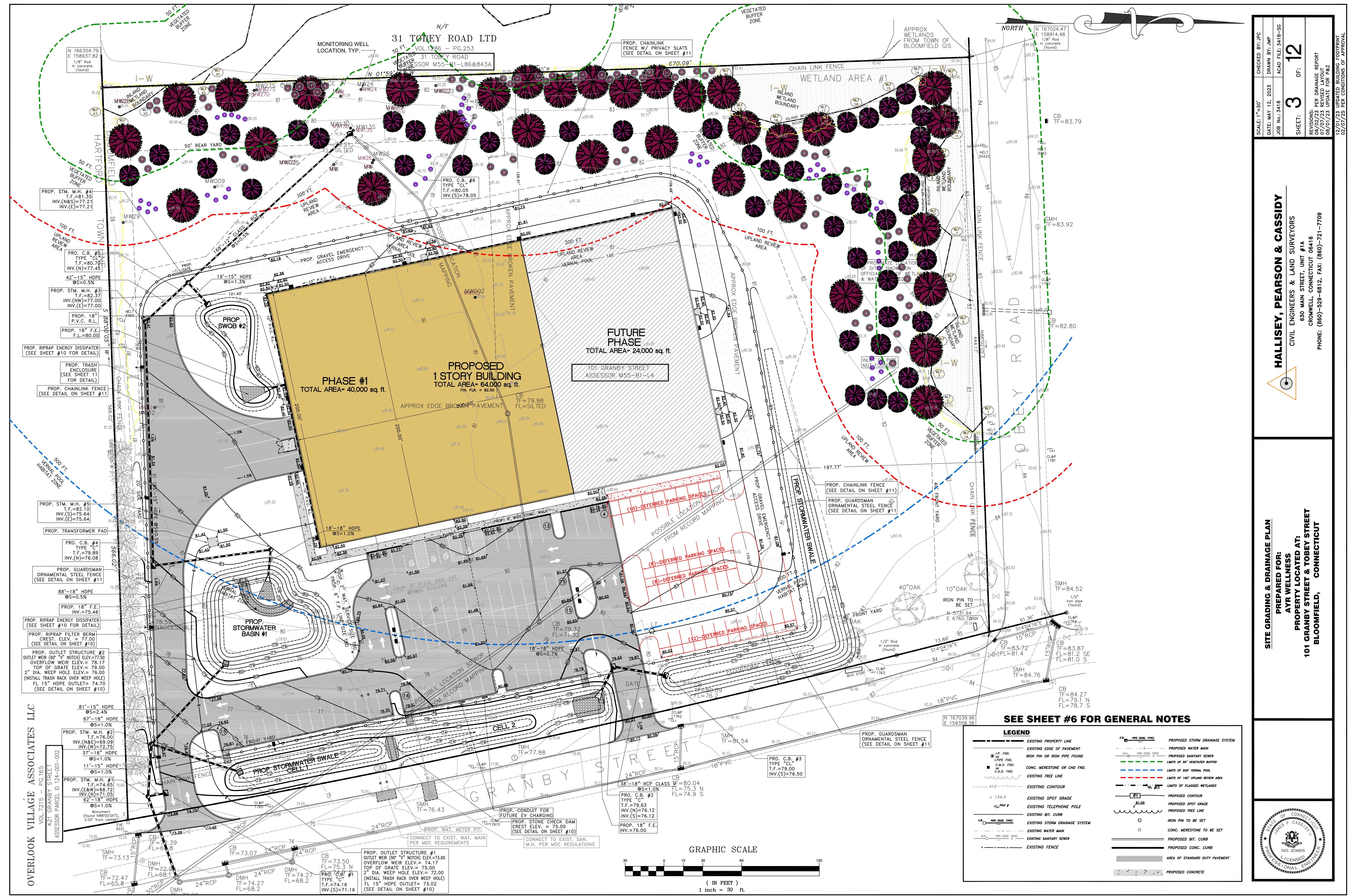


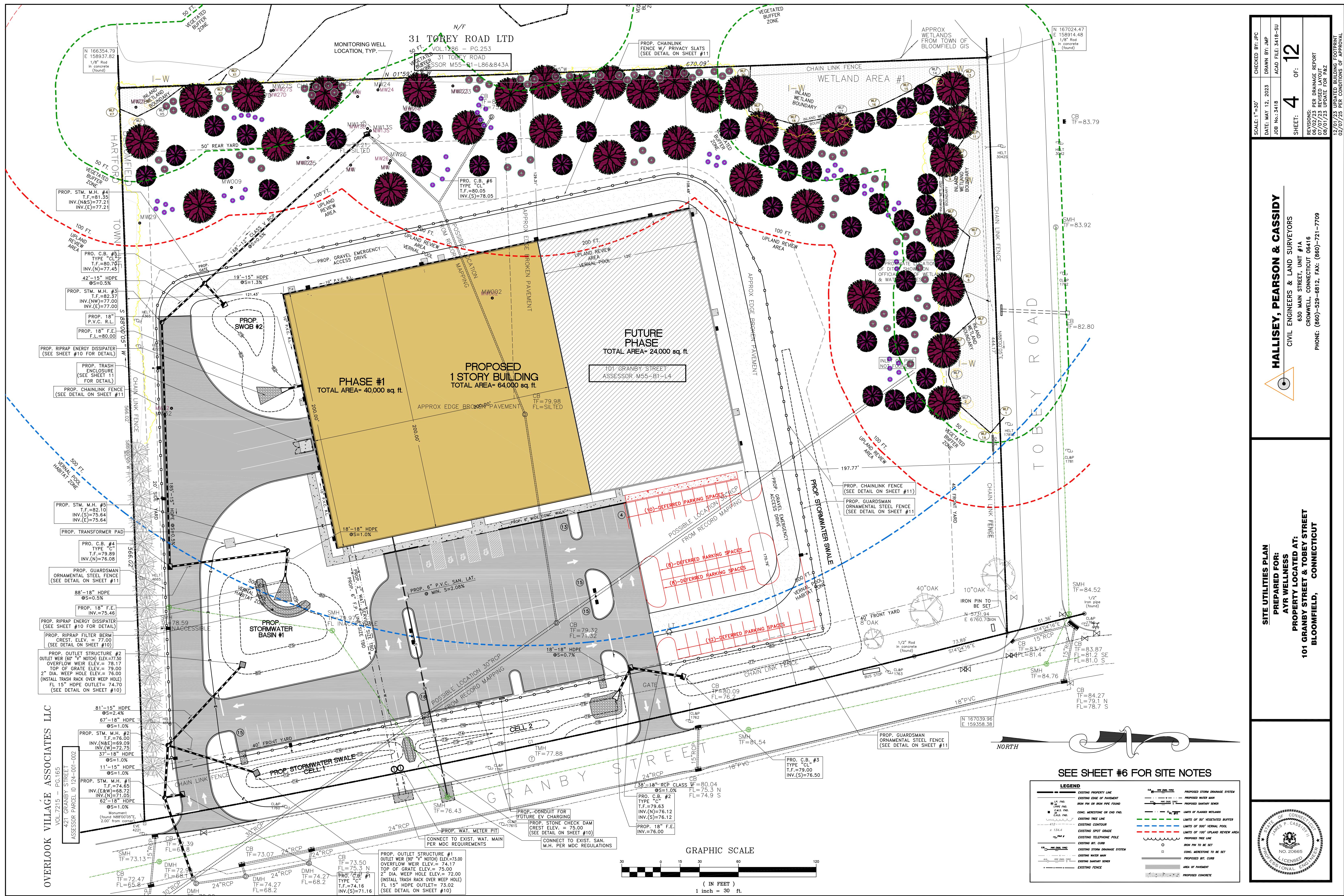
HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
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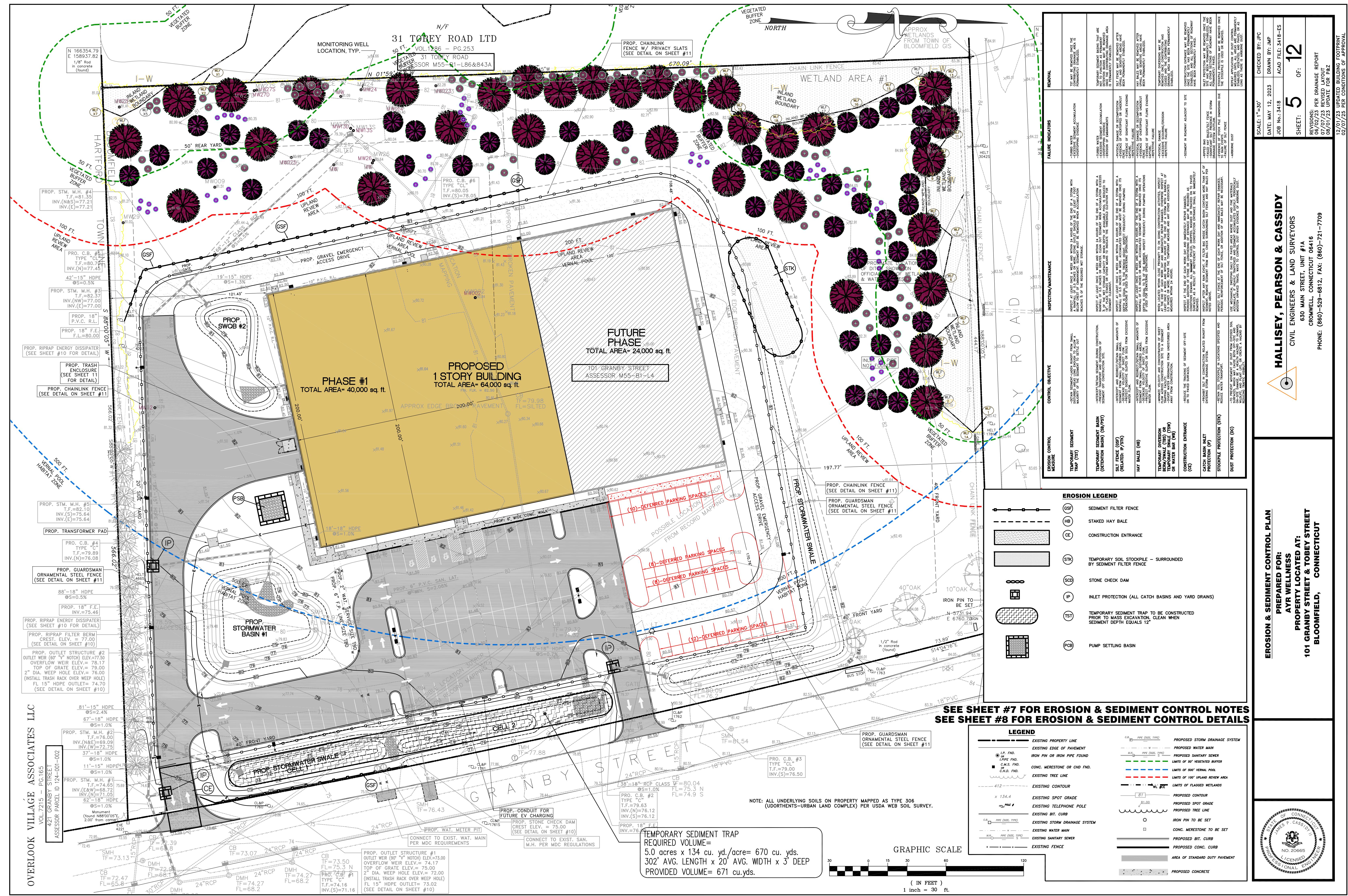
NO.	DATE	DESCRIPTION	BY
5	2/7/25	PER CONDITIONS OF APPROVAL	JMP
4	12/1/23	UPDATED BUILDING FOOTPRINT	JMP
3	8/1/23	UPDATE FOR P&Z	JMP
2	7/7/23	REVISED LAYOUT	JMP
1	6/2/23	PER DRAINAGE REPORT	JMP
NO.	DATE	DESCRIPTION	BY











SITE PLAN NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH TOWN OF BLOOMFIELD, STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS IN THE ABOVE REFERENCED HIERARCHY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL STATE AND LOCAL REGULATIONS.

2. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL TOWN CONSTRUCTION PERMITS, INCLUDING DOT PERMITS AND SEWER AND WATER CONNECTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.

3. REFER TO OTHER PLANS, DETAILS AND NOTES FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFORMED WITH THE LOCAL CONSTRUCTION MANAGER PRIOR TO BIDDING.

4. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLAN SPECIFICATIONS TO THE OWNER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.

5. THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE EROSION CONTROL PLAN.

6. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDINGS AND THE RAISED CONCRETE SIDEWALKS AND RAMPS.

7. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.

8. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.

9. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OR PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.

10. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES.

11. REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.

12. TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OF THE CURB, AND WITH 7' VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.

13. THE CONTRACTOR SHALL ABIDE BY ALL OSHA FEDERAL STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.

14. THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF THE PAINT MIXTURE PRIOR TO STRIPING.

15. PAVEMENT MARKING KEY:

4" SYL	4" SOLID YELLOW DOUBLE LINE
4" SYL	4" SOLID YELLOW LINE
4" SWL	4" SOLID WHITE LINE
12" SWB	12" SOLID WHITE STOP BAR
4" SWL	4" BROKEN WHITE LINE 10' STRIPE 30' SPACE

16. PARKING SPACES SHALL BE STRIPED WITH 4" SWL. HATCHED AREA SHALL BE STRIPED WITH 4" SWL AT A 45° ANGLE, 2' ON CENTER. HATCHING SYMBOLS, AND STRIPING FOR HANDICAPPED SPACES SHALL BE PAINTED BLUE. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.

17. THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE ENGINEER.

18. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.

19. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.

20. THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1922 FOR EXCAVATION TRENCHING AND TRENCH PROTECTION REQUIREMENTS.

21. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, SITE ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING PROCESS.

22. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT (1800)922-4455 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.

23. PAVEMENT MARKINGS SHALL NOT BE APPLIED TYPE IN ACCORDANCE WITH CT DOT SPECIFICATIONS, UNLESS WHERE EPOXY RESIN PAVEMENT MARKINGS ARE INDICATED.

24. TOWN OF BLOOMFIELD STREET EXCAVATION PERMIT SHALL BE OBTAINED BY CONTRACTOR.

25. AN EROSION CONTROL BOND IS REQUIRED TO BE POSTED BY THE CONTRACTOR BEFORE THE START OF ANY ACTIVITY ON OR OFF SITE.

26. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.

28. THESE PLANS ARE FOR PERMITTING.

29. THE SITE IS PROPOSED TO BE SERVED BY PUBLIC WATER AND PUBLIC SEWER SYSTEM.

30. PROPERTY SHOWN ON F.I.R.M. NO. 09004700048. DATED: JUNE 15, 1982. NO DIGITAL DATA AVAILABLE.

31. 12" SWB (STOP BAR) AND 4" SYL AND SWL PAVEMENT MARKINGS LOCATED IN DRIVEWAYS AND IN STATE HIGHWAY SHALL BE EPOXY RESIN TYPE ACCORDING TO CT DOT SPECIFICATIONS.

32. FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN FIRE MARSHAL.

33. THE APPLICANT WILL PROVIDE AND MAINTAIN ADEQUATE SIGHT DISTANCES AT ALL DRIVEWAY INTERSECTIONS. CURRENT STATE OF CONNECTICUT HIGHWAY DESIGN STANDARDS WILL APPLY TO REQUIRED SIGHT DISTANCES.

34. THE APPLICANT WILL REGISTER BUILDING ALARMS PER TOWN ORDINANCE.

35. THE APPLICANT WILL CONTROL DUST AND DEBRIS ON THE SURROUNDING ROADWAYS DURING CONSTRUCTION. PROPER SAFETY PRECAUTIONS AND EQUIPMENT ARE TO BE UTILIZED WHEN WORKING ON PUBLIC ROADWAYS AND ARE THE APPLICANT'S RESPONSIBILITY TO PROVIDE.

36. THE APPLICANT WILL OBTAIN A CONNECTICUT DEPARTMENT OF TRANSPORTATION ENCROACHMENT PERMIT FOR ANY WORK DONE IN THE STATE RIGHT OF WAY.

37. THE APPLICANT MUST COMPLY WITH CONNECTICUT DEPARTMENT OF TRANSPORTATION STIPULATIONS/REGULATIONS WHEN APPLICABLE.

38. ALL DISTURBED PAVEMENT MARKINGS MUST BE REPLACED WITH EPOXY PAINT.

39. A BUILDING PERMIT FROM THE TOWN OF BLOOMFIELD IS REQUIRED FOR RETAINING WALLS IN EXCESS OF 30" IN HEIGHT. CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE BUILDING PERMIT.

40. NO OUTDOOR STORAGE IS PROPOSED ON THE PROPERTY.

GRADING AND DRAINAGE NOTES

GRADING GENERAL NOTES:

1. SEE THIS PLAN SHEET FOR ADDITIONAL SITE PLAN AND GENERAL NOTES.
2. THE GRADING AND DRAINAGE PLAN IS INTENDED TO DESCRIBE GRADING AND DRAINAGE ONLY. REFER TO SITE PLAN FOR GENERAL INFORMATION, AND DETAIL SHEETS FOR DETAILS. SEE MEP DRAWINGS FOR BUILDING CONNECTION LOCATIONS AND DETAILS.
3. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND NOTES.
4. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY GOVERNMENT AND LOCAL AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL MUNICIPALITIES REQUIRED TO PERFORM ALL REQUIRED WORK, INCLUDING FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
6. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES.
7. THE CONTRACTOR SHALL COMPACT FILL IN 12" MAXIMUM LIFTS UNDER ALL PARKING, BUILDING, AND DRIVE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
8. UNDERDRAINS SHALL BE ADDED, IF DETERMINED NECESSARY IN THE FIELD BY THE DESIGN OR TOWN ENGINEER AFTER SUBGRADE IS ROUGH GRADED, AS APPROVED BY THE BLOOMFIELD TOWN STAFF.
9. VERTICAL DATUM IS NGVD 1988.
10. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN OF BLOOMFIELD AGENT PRIOR TO THE START OF WORK ON THE SITE.
11. PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE PRODUCTION OF AN EROSION CONTROL OR WETLAND ENVIRONMENT. IN ACCORDANCE WITH THE DEPARTMENT OF ENVIRONMENTAL PROTECTION'S GUIDELINES FOR SOIL EROSION AND SEDIMENT POLLUTION CONTROL. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE "EROSION CONTROL PLAN" CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE LOCAL MUNICIPALITIES, OR SOIL CONSERVATION SERVICE WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.
12. ALL SITE WORK MATERIALS OR CONSTRUCTION, AND CONSTRUCTION METHODS FOR EARTHWORK, STORM DRAINAGE AND UTILITY WORK SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION UNLESS OTHERWISE STATED IN THESE SPECIFICATIONS. ALL CONSTRUCTION MATERIALS AND EQUIPMENT SHALL BE PLACED IN PAVED AREAS AS PER THE SPECIFICATIONS, AND/OR PROJECT GEOTECHNICAL REPORT, AND SHALL BE PLACED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE DOT, UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. MATERIAL SHALL BE COMPACTED IN 12" LIFTS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557 AT 3 +/- PERCENT OF OPTIMUM MOISTURE CONTENT.
13. ALL DISTURBANCE INCURRED TO TOWN OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE TOWN OF BLOOMFIELD AUTHORITY AND STATE OF CONNECTICUT.
14. ALL CONSTRUCTION SHALL COMPLY WITH THE LOCAL MUNICIPALITY'S STANDARDS AND STATE OF CONNECTICUT'S DOT SPECIFICATIONS. ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS. WHERE SPECIFICATIONS OR STANDARDS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION OR STANDARD SHALL BE SUPERIOR.

PRODUCT NOTES:

1. SHOP DRAWINGS: THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF MATERIALS AND STRUCTURES FOR REVIEW AND APPROVAL PRIOR TO DELIVERY TO THE SITE. ALLOW 14 WORKING DAYS FOR REVIEW.
2. POLY VINYL CHLORIDE (PVC) FOR STORM AND SANITARY PIPING SHALL HAVE BUILT-IN RUBBER GASKET JOINTS. PVC SHALL CONFORM TO ASTM D-3034 (SDR35) WITH COMPRESSION JOINTS AND MOLDED FITTINGS. PVC SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS; ASTM-D2321 AND MANUFACTURERS RECOMMENDED PROCEDURE.
3. ALL RCP SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-76; ALL RCP SHALL BE CLASS IV UNLESS OTHERWISE SHOWN. JOINTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-443.
4. MANHOLE SECTIONS AND CONSTRUCTION SHALL CONFORM TO ASTM C-478.

5. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER 12" OR GREATER IN DIAMETER SHALL BE HI-0 DENSITY POLYETHYLENE AS MANUFACTURED BY HANCOCK. AN APPROVED EQUAL HDPE PIPE SHALL HAVE SMOOTH INTERNAL SURFACE AND THE SMOOTH INTERNAL SURFACE REQUIREMENTS OF ASTM M294. TYPE PIPE SECTIONS SHALL BE JOINED WITH BELL-AND-SPIGOT JOINT MEETING THE REQUIREMENTS OF ASHSTS M294. THE BELL SHALL BE AN INTEGRAL PART OF THE PIPE AND PROVIDE A MINIMUM PULL-APART STRENGTH OF 400 POUNDS. THE JOINT SHALL BE WATERTIGHT ACCORDING TO THE REQUIREMENTS OF ASTM D292. JOINTS SHALL BE MADE OF POLYISOPRENE MEETING THE REQUIREMENTS OF ASTM F477. AN ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND CONSTRUCTION MANAGER PRIOR TO ORDERING.
6. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER LESS THAN 12" IN DIAMETER SHALL BE HI-0 DENSITY POLYETHYLENE AS MANUFACTURED BY HANCOCK OR APPROVED EQUAL. HDPE PIPE SHALL HAVE SMOOTH INTERNAL SURFACE AND THE SMOOTH INTERNAL SURFACE REQUIREMENTS OF ASTM M294. TYPE PIPE SECTIONS SHALL BE JOINED WITH COUPLING BANDS OR EXTERNAL SNAK COUPLERS COVERING AT LEAST 2 FULL CORROSIONS ON EACH END OF THE PIPE. SILT-TIGHT (GASKET) CONNECTIONS SHALL INCORPORATE A GLOO-SEAL TYPE EXPANSION JOINT. THE JOINT SHALL MEET THE REQUIREMENTS OF ASTM F477. GASKETS SHALL BE INSTALLED ON THE CONNECTION BY THE PIPE MANUFACTURER. AN ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND CONSTRUCTION MANAGER PRIOR TO ORDERING.

GENERAL NOTES:

1. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER AND ARCHITECT IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS.
2. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
3. THE CONTRACTOR SHALL ABIDE BY ALL OSHA FEDERAL STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
4. THE CONTRACTOR SHALL PROVIDE RECORD DRAWINGS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
5. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
6. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT "811" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
7. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN OVER SCALED DIMENSIONS.
8. IF PLANS AND OR SPECIFICATIONS ARE IN CONFLICT, THE MOST EFFECTIVE SHALL APPLY AS DETERMINED BY A LICENSED PROFESSIONAL AND APPROVED BY TOWN STAFF.

9. ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN COMPLETE DRAWING PLAN SETS FOR BIDDING AND CONSTRUCTION. PLAN SETS SHALL NOT BE DISASSEMBLED INTO PARTIAL PLAN SETS FOR USE BY CONTRACTORS AND SUBCONTRACTORS OF INDIVIDUAL TRADES. IT SHALL BE THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY TO OBTAIN COMPLETE PLAN SETS FOR USE IN BIDDING AND CONSTRUCTION.
10. ALL NOTES AND DIMENSIONS DESIGNATED "TYPICAL" APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.
11. CONTRACTOR'S TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF SAME. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
12. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.

UTILITIES NOTES

UTILITY CONSTRUCTION NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE LOCAL MUNICIPALITIES TO SECURE PERMITS AND FOR PAYMENT OF FEES FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES.
2. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES.
3. THIS PLAN DETAILS SITE INSTALLED PIPES UP TO 5' FROM THE BUILDING FACE. REFER TO DRAWINGS BY OTHERS FOR BUILDING CONNECTION POINT OR AT EXISTING UTILITY OR PIPE CONNECTION POINT.
4. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE SEWERS CROSS UTILITIES, AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE MARKED. THE CONTRACTOR SHALL CONTACT THE SITE ENGINEER IN THE EVENT OF ANY DISCOVERED OR UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
5. UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY CO. AND TOWN STAFF REVIEW.
6. THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY COMPANIES AND TOWN STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET. THE CONTRACTOR SHALL PROVIDE PROPER COORDINATION WITH THE RESPECTIVE UTILITIES PROVIDER, TOWN OF BLOOMFIELD PUBLIC WORKS DEPARTMENT AND TOWN OF BLOOMFIELD WATER & SEWER DEPARTMENT.
7. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES FOR SERVICE INSTALLATIONS AND CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY COMPANIES AND SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTION, REALLOCATIONS, INSPECTIONS, AND DEMOLITION.
8. ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SWEEP CUT. AFTER UTILITY INSTALLATION IS COMPLETED THE SITE CONTRACTOR SHALL INSTALL TEMPORARY OR PERMANENT PAVEMENT REPAIR AS DETAILED ON THE PLANS OR AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
9. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
10. SANITARY LATERALS SHALL MAINTAIN (10' MIN. HORIZONTAL 1.5' VERTICAL MIN.) SEPARATION DISTANCE FROM WATER LINES, OR ADDITIONAL PROTECTION MEASURES WILL BE REQUIRED WHERE PERMITTED.
11. RELOCATION OF UTILITY COMPANY FACILITIES SUCH AS POLES, TO BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FACILITY OWNERS.
12. THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 12" LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABILE IN HIGH GROUND/WATER AREAS. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROCK EXCAVATION. STORM SEWERS MAY BE PLACED PRIOR TO PLACING FILL.
13. CONTRACTOR TO PROVIDE SLEEVES UNDER FOOTINGS FOR UTILITY CONNECTIONS.
14. UTILITY PENETRATIONS AND LOCATIONS ARE SHOWN FOR THE CONTRACTOR'S INFORMATION AND SHALL BE VERIFIED WITH THE MEPP DRAWINGS AND CONSTRUCTION MANAGER.
15. ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION FOR APPROVAL PRIOR TO BACKFILLING, IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY AND/OR THE LOCAL MUNICIPALITIES' REQUIREMENTS.
16. A ONE-FOOT MINIMUM CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, AND TELEPHONE LINES AND STORM SEWERS SHALL BE PROVIDED. A SIX-INCH MINIMUM CLEARANCE SHALL BE MAINTAINED BETWEEN STORM AND SANITARY SEWER WITH A CONCRETE ENCLASSEMENT.
17. CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC., AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING STUCCO'S, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
18. MANHOLE RIMS SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE FRAMES AND VALVE COVERS TO BE RAISED OR LOWERED FLUSH WITH FINAL GRADE AS NECESSARY.
19. SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF CONDUIT AND CABLES FOR SITE LIGHTING WITH THE BUILDING ELECTRICIAN/ELECTRICAL CONTRACTOR.
20. CONTRACTOR SHALL COORDINATE INSTALLATION FOR ELECTRICAL SERVICES TO PYLON SIGNS AND SITE LIGHTING WITH THE BUILDING ELECTRICAL/ELECTRICAL CONTRACTOR.
21. THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, OR LANDSCAPED AREAS DISTURBED DURING CONSTRUCTION, TO THEIR ORIGINAL CONDITION OR BETTER.
22. INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES. CONTACT "CALL BEFORE YOU DIG" 1-(800)-922-4455 72 HOURS PRIOR TO CONSTRUCTION AND VERIFY ALL UNDERGROUND AN OVERHEAD UTILITY LOCATIONS.
23. THE CONTRACTOR SHALL ARRANGE AND COORDINATE WITH UTILITY COMPANIES AND THE TOWN OF BLOOMFIELD FOR WORK TO BE PERFORMED BY UTILITY COMPANIES OR BY THE TOWN OF BLOOMFIELD. THE CONTRACTOR SHALL PAY ALL UTILITY FEES AND REPAIR PAVEMENTS AS NECESSARY.
24. ELECTRIC, AND TELEPHONE SERVICES SHALL BE INSTALLED UNDERGROUND FROM SERVICE POLE CLIP #1543. THE CONTRACTOR SHALL INSTALL AND BACKFILL TWO 4" PVC CONDUITS FOR TELEPHONE SERVICE, FOUR 4" PVC CONDUITS FOR ELECTRIC SERVICE PRIMARY, PVC CONDUITS FOR ELECTRICAL SECONDARY BY BUILDING ELECTRICAL PLANS (SCHEDULE BON 18 UNDER PAYMENT, SCHEDULE 40 IN NON PAVEMENT AREAS). SERVICES SHALL BE INSTALLED IN A COMMON TRENCH WITH 1" CLEAR SPACE BETWEEN. MINIMUM COVER IS 36" ON LOCATIONS WHERE 24" TRENCH IS REQUIRED. THE CONTRACTOR SHALL USE LOCATOR TAPE AND SHALL BE BURIED, INSTALLED, AND BACKFILLED IN ACCORDANCE WITH ELECTRIC COMPANY, AND PHONE COMPANY STANDARDS. GALVANIZED STEEL ELECTRICAL CONDUIT SHALL BE USED AT POLE AND TRANSFORMER LOCATIONS. INSTALL HANDHOLSES AS REQUIRED. INSTALL CONCRETE ENCLASSEMENT ON PRIMARY ELECTRIC CONDUITS IF REQUIRED BY ELECTRIC COMPANY.
25. ALL WATER LINES TO HAVE A MINIMUM COVER OF 54-INCHES. ALL LINES SHALL BE BEDDED IN 6" SAND AND BACKFILLED WITH 12" SAND.
26. ALL WATER MAINS, WATER SERVICES AND SANITARY SEWER LATERAL SHALL CONFORM TO THE DEPARTMENT OF ENVIRONMENTAL HEALTH, APPLICABLE TOWN OF BLOOMFIELD WATER & SEWER DEPARTMENT SPECIFICATIONS, AS WELL AS TO OTHER APPLICABLE CODES AND SPECIFICATIONS FOR POTABLE WATER SYSTEMS.
27. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, ENGINEER, UTILITY PROVIDER AND APPROPRIATE REGULATORY AGENCIES PRIOR TO INSTALLATION.
28. THE CONTRACTOR SHALL MAINTAIN ALL UTILITY CONNECTIONS TO EXISTING ABUTTING HOUSES & COMMERCIAL BUILDINGS WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT BY THE OWNERS, THE PROJECT ENGINEER, UTILITY PROVIDER AND GOVERNING AUTHORITIES.
29. ANY EXISTING POTABLE WATER WELLS AND SEPTIC TANKS/ABSORPTION AREAS SHALL BE ABANDONED AND REMOVED PER THE DEPARTMENT OR ENVIRONMENTAL PROTECTION AND HEALTH CODE REQUIREMENTS.
30. THE CONTRACTOR MAY SUBSTITUTE MASONRY STRUCTURES FOR PRECAST STRUCTURES IF APPROVED BY THE SITE ENGINEER AND ALLOWED BY THE TOWN ENGINEER OR BY GOVERNING AUTHORITY.

POST CONSTRUCTION STORM WATER POLLUTION PLAN

AYR WELLNESS
2001 SOUTHBAYSHORE DRIVE, SUITE 900
MIAMI, FLORIDA 33133
PHONE: 413-275-8334

THE FOLLOWING PROCEDURES WILL BE IMPLEMENT

EROSION CONTROL NOTES

SEDIMENT & EROSION CONTROL NARRATIVE

THE SEDIMENT AND EROSION CONTROL PLAN WAS DEVELOPED TO PROTECT THE EXISTING ROADWAY AND STORM DRAINAGE SYSTEMS, ADJACENT PROPERTIES, AND THE WETLAND AREA FROM SURFACE RUNOFF AND EROSION. A CONSTRUCTION SEQUENCE IS PROVIDED TO PROVIDE SURFACE RUNOFF CONTROLS PRIOR TO THE PROJECT CONSTRUCTION BEGINNING.

CONSTRUCTION SCHEDULE

THE ANTICIPATED STARTING DATE FOR CONSTRUCTION IS SPRING 2025, WITH COMPLETION ANTICIPATED SPRING 2026. APPROPRIATE EROSION CONTROL MEASURES AS DESCRIBED HEREIN, SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ALL CONSTRUCTION ACTIVITY.

CONTINGENCY EROSION CONTROL
THE CONTRACTOR SHALL INSTALL ALL SPECIFIED EROSION CONTROL MEASURES AND WILL BE REQUIRED TO MAINTAIN THEM IN THEIR INTENDED FUNCTIONING CONDITION. THE AGENTS OF THE DIRECTOR OF PLANNING & DEVELOPMENT, INLAND WETLANDS AGENCY AND/OR SITE ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUPPLEMENTAL MAINTENANCE OR ADDITIONAL MEASURES IF FIELD CONDITIONS ARE ENCOUNTERED BEYOND WHAT WOULD NORMALLY BE ANTICIPATED.

CONSTRUCTION SEQUENCE

THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

1. CONTACT TOWN OF BLOOMFIELD AGENT AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF ANY DEMOLITION, CONSTRUCTION OR REGULATED ACTIVITY ON THE PROJECT; A PRE-CONSTRUCTION MEETING WITH LOCAL AND/OR STATE OFFICIALS NEEDS TO BE HELD PRIOR TO THE START OF CONSTRUCTION
2. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN OF BLOOMFIELD AGENT PRIOR TO THE START OF WORK ON THE SITE. INSTALL TREE PROTECTION AND PERIMETER SILT FENCE & HAY BAILE SEDIMENT BARRIERS.
3. CONSTRUCT TRACKING PADS AT ENTRANCES AND WRAP FILTER FABRIC AROUND GRATE OF CATCH BASINS OR INSTALL SILT SACKS ON CATCH BASIN INLETS ON OFF SITE ROADS. INSTALL SILT FENCE AT PERIMETER OF PROPOSED SITE DISTURBANCE AND INSTALL ALL EROSION CONTROL MEASURES AND TREE PROTECTION INDICATED ON THESE PLANS. INSTALL SEDIMENT TRAPS AND INSTALL SEDIMENT BASINS IN REQUIRED AT LOW AREAS OF SITE OR AS ORDERED BY THE ENGINEER OR AS SHOWN ON THESE PLANS.
4. CLEAR AND GRUB SITE. STOCK PILE CHIPS. STRIP AND STOCKPILE TOPSOIL.
5. INSTALL ADDITIONAL SILT FENCE AS REQUIRED, CONSTRUCT TEMPORARY DIVERSION BERMS AND SEDIMENT TRAPS.
6. CONTINUE EARTHWORK. CONSTRUCT FILL SLOPE. INSTALL ADDITIONAL EROSION CONTROL AS REQUIRED. TOPSOIL AND SEED SLOPES WHICH HAVE ACHIEVED FINAL SITE GRADING. CONSTRUCT STORMWATER QUALITY BASIN.
7. CONSTRUCTION STAKING OF ALL BUILDING CORNERS, UTILITIES, ACCESS DRIVES, AND PARKING AREAS.
8. ROUGH GRADING.
9. INSTALLATION OF STORM DRAINAGE.
10. FOUNDATION CONSTRUCTION. BEGIN SUPERSTRUCTURE.
11. REMOVE SEDIMENT FROM BEHIND SILT FENCES, AND FROM SEDIMENTATION BASINS AS REQUIRED. REMOVAL SHALL BE ON A PERIODIC BASIS (EVERY SIGNIFICANT RAINFALL). INSPECTION OF EROSION CONTROL MEASURES SHALL BE ON A WEEKLY BASIS. SEDIMENT COLLECTED SHALL BE DEPOSITED AND SPREAD EVENLY UPLAND ON SLOPES DURING CONSTRUCTION.
12. INSTALL SANITARY LATERAL, WATER SERVICE AND ALL OTHER UTILITIES. COMPLETE STORM SEWERS.
13. INSTALL SITE LIGHTING, LOADING DOCK AND TRASH ENCLOSURE.
14. FINISH GRADING AND CONSTRUCT PARKING AREA SUBGRADE.
15. CONSTRUCT SIDEWALKS.
16. PAVING OF PARKING AREAS AND DRIVEWAYS
17. FINAL GRADING OF SLOPE AREAS.
18. PLACE 4" TOPSOIL ON SLOPES AFTER FINAL GRADING IS COMPLETED. FERTILIZE SEED AND MULCH. SEED MIXTURE TO BE INSTALLED APRIL 11 TO JUNE 15 OR AUGUST 15 TO OCTOBER 1 USE EROSION CONTROL BLANKETS AS REQUIRED OR ORDERED FOR SLOPES GREATER THAN 3:1. FOR TEMPORARY STABILIZATION BEYOND SEEDING DATES USE ANNUAL RYE AT 4.0 LBS/1,000 S.F. FERTILIZE WITH 10-10-10 AT 1.0 LBS. OF NITROGEN PER 1,000 S.F. AND LIME AT 100 LBS/1,000 S.F. (MAX.).
19. LANDSCAPE ISLANDS AND PERIMETER AREAS. INSTALL SIGNING AND PAVEMENT MARKINGS.
20. UPON DIRECTION OF THE TOWN OF BLOOMFIELD AGENT, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED FOLLOWING STABILIZATION OF THE SITE.

SEQUENCE OF OPERATIONS

OPERATION I – CLEARING AND GRUBBING

1. ALL SEDIMENTATION AND EROSION CONTROL MEASURES, INCLUDING THE CONSTRUCTION OF THE TEMPORARY SEDIMENT TRAPS AND ANTI-TRACKING PADS, WILL BE INSTALLED PRIOR TO THE START OF CLEARING AND GRUBBING AND DEMOLITION OPERATIONS.
2. FOLLOWING INSTALLATION OF ALL SEDIMENTATION AND EROSION CONTROL MEASURES, THE CONTRACTOR SHALL NOT PROCEED WITH OPERATION II UNTIL THE ENGINEER HAS INSPECTED AND APPROVED ALL INSTALLATIONS.
3. THE CONTRACTOR SHALL TAKE EXTREME CARE DURING OPERATION I, SO AS NOT TO DISTURB UNPROTECTED WETLAND AREAS OR SEDIMENTATION AND EROSION CONTROL STRUCTURES.

OPERATION II – ROUGH GRADING

1. DURING THE REMOVAL AND/OR PLACEMENT OF EARTH AS INDICATED ON THE SITE PLAN, TOPSOIL SHALL BE STRIPPED AND APPROPRIATELY STOCKPILED FOR REUSE.
2. ALL STOCKPILED TOPSOIL SHALL BE SEDED, MULCHED WITH HAY, AND ENCLOSED BY A SILTATION FENCE.

OPERATION III – FILLING

1. PRIOR TO FILLING, ALL SEDIMENTATION AND EROSION CONTROL STRUCTURES SHALL BE PROPERLY IMPLEMENTED, MAINTAINED AND FULLY INSTALLED, AS DIRECTED BY THE ENGINEER AND AS SHOWN ON THE PLAN.
2. ALL FILL MATERIAL ADJACENT TO ANY WETLAND AREAS SHALL BE GOOD QUALITY, WITH LESS THAN 5% FINES PASSING THROUGH A #200 SIEVE (BANK RUN), SHALL BE PLACED IN MAXIMUM ONE FOOT LIFTS, AND SHALL BE COMPACTED TO 95% MAX. DRY DENSITY MODIFIED PROCTOR OR AS SPECIFIED IN CONTRACT SPECIFICATIONS.
3. AS GENERAL GRADING OPERATIONS PROGRESS, THE TEMPORARY DIVERSION DITCHES SHALL BE RAISED OR LOWERED, AS NECESSARY, TO DIVERT SURFACE RUNOFF TO THE BASINS.

OPERATION IV – PLACEMENT OF DRAINAGE STRUCTURES, UTILITIES, AND BUILDING CONSTRUCTION.

1. STAKED SILT FENCES SHALL BE INSTALLED AT THE DOWNSIDE SIDES OF BUILDING EXCAVATIONS, DEWATERING PUMP DISCHARGES, AND UTILITY TRENCH MATERIAL STOCKPILES.
2. NO CUT OR FILL SLOPES SHALL EXCEED 2:1 EXCEPT WHERE STABILIZED BY ROCK FACED EMBANKMENTS OR EROSION CONTROL BLANKETS, JUTE MESH AND VEGETATION. ALL SLOPES SHALL BE SEDED, AND THE ROAD SHOULDER AND BANKS WILL BE STABILIZED IMMEDIATELY UPON COMPLETION OF FINAL GRADING UNTIL TURF IS ESTABLISHED.
3. PAVEMENT BASE COURSES SHALL BE INSTALLED OVER AREAS TO BE PAVED AS SOON AS FINAL SUB-GRADES ARE ESTABLISHED AND UNDERGROUND UTILITIES HAVE BEEN INSTALLED.
4. CONSTRUCT PAVEMENT. PLACE TOPSOIL, FINAL SEED, MULCH AND LANDSCAPING.
5. REMOVE ALL TEMPORARY EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE BEEN PAVED AND/OR GRASS HAS BEEN WELL ESTABLISHED AND THE SITE HAS BEEN INSPECTED AND APPROVED BY THE TOWN OR GOVERNING WETLAND AGENCY.

SEQUENCE FOR INSTALLATION OF SOIL EROSION & SEDIMENTATION CONTROL MEASURES

PHASE 1

1. ERECT SILTATION FENCES, SEDIMENT TRAPS, DIVERSION DITCHES, AND ANTI-TRACKING PAD.
2. STRIP TOPSOIL AND STOCKPILE.
3. PERFORM CLEARING AND GRUBBING ACTIVITIES, AND DEMOLITION.
4. STABILIZE STOCK PILE.

PHASE 2

1. INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.
2. ROUGH GRADING.

PHASE 3

1. INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.
2. PERFORM FILLING ACTIVITIES.

PHASE 4

1. INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.
2. CONSTRUCT DRAINAGE STRUCTURES. CONSTRUCT DIVERSION BERMS, RIP RAPPED LINED DITCHES AND SEDIMENTATION BASINS.

PHASE 5

1. INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.
2. PERFORM FINAL GRADING AND PAVING.

PHASE 6

1. INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.
2. RESPREAD TOPSOIL.
3. LIME, FERTILIZE, AND SEED.
4. MULCH.
5. FINAL COVER.

PHASE 7

1. MAINTAIN SILTATION FENCES UNTIL COVER IS COMPLETELY STABILIZED.
2. PERFORM FINAL INSPECTION.
3. REMOVE SILTATION FENCES, CLEAN, AND RESTORE ALL AREAS.

INSTALLATION OF SEDIMENTATION AND EROSION CONTROL MEASURES

I. SILTATION FENCE

- A. DIG A SIX INCH TRENCH ON THE UPHILL SIDE OF THE DESIGNATED FENCE LINE LOCATION.

- B. POSITION THE POST AT THE BACK OF THE TRENCH (DOWNHILL SIDE), AND HAMMER THE POST AT LEAST 1.5 FEET INTO THE GROUND.

- C. LAY THE BOTTOM SIX INCHES OF THE FABRIC IN THE TRENCH TO PREVENT UNDERMINING BY STORM WATER RUN-OFF.

- D. BACKFILL THE TRENCH AND COMPACT.

OPERATION AND MAINTENANCE OF SEDIMENTATION AND EROSION CONTROL MEASURES

I. SILTATION FENCE

- A. ALL SILTATION FENCES SHALL BE INSPECTED AS A MINIMUM WEEKLY OR AFTER EACH RAINFALL. ALL DETERIORATED FABRIC AND DAMAGED POSTS SHALL BE REPLACED AND PROPERLY REPOSITIONED IN ACCORDANCE WITH THE PLAN.

- B. SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE FENCE WHEN THEY EXCEED A HEIGHT OF ONE FOOT.

II. SEDIMENT TRAPS/BASINS

- A. CONTRACTOR TO KEEP WEEKLY CHECKLIST LOGS FOR INSPECTIONS OF ALL SEDIMENT AND EROSION CONTROL DEVICES AND HAVE THEM READILY AVAILABLE ON-SITE AT ALL TIMES FOR INSPECTION BY DEEP, LOCAL AUTHORITIES OR ENGINEER.

- B. ALL PONDS SHALL BE INSPECTED FOLLOWING EACH RAINFALL. REPAIR OF SLOPES SHALL BE PROMPTLY MADE AS NEEDED.

- C. SEDIMENT DEPOSITS SHALL BE REMOVED FROM PONDS WHEN THEY EXCEED A HEIGHT OF ONE FOOT.

- D. SEDIMENT SHALL BE DISPOSED OF ON-SITE OR AS DIRECTED BY THE ENGINEER AND LOCAL GOVERNING OFFICIALS.

EROSION AND SEDIMENT CONTROL PLAN

I. SILTATION FENCE

1. SILTATION FENCE WILL BE INSTALLED AT ALL CULVERT OUTLETS AND ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES.

2. CATCH BASINS WILL BE PROTECTED WITH SILT SACKS OR HAY BALES THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.

3. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.

4. EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO CONSTRUCTION WHENEVER POSSIBLE.

5. ALL CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.

6. ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF NECESSARY OR REQUIRED.

7. SEDIMENT REMOVED FROM CONTROL STRUCTURES WILL BE DISPOSED IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THE PLAN.

8. AYR WELLNESS IS THE PERMITTEE RESPONSIBLE FOR IMPLEMENTING THE EROSION AND SEDIMENT CONTROL PLAN. THE RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFICATION TO BLOOMFIELD WILDLANDS ENFORCEMENT OFFICER OR GOVERNING AUTHORITY OF THE TRANSFER OF THE RESPONSIBILITY AND FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.

OPERATION II – ROUGH GRADING

1. DURING THE REMOVAL AND/OR PLACEMENT OF EARTH AS INDICATED ON THE SITE PLAN, TOPSOIL SHALL BE STRIPPED AND APPROPRIATELY STOCKPILED FOR REUSE.

2. ALL STOCKPILED TOPSOIL SHALL BE SEDED, MULCHED WITH HAY, AND ENCLOSED BY A SILTATION FENCE.

OPERATION III – FILLING

1. PRIOR TO FILLING, ALL SEDIMENTATION AND EROSION CONTROL STRUCTURES SHALL BE PROPERLY IMPLEMENTED, MAINTAINED AND FULLY INSTALLED, AS DIRECTED BY THE ENGINEER AND AS SHOWN ON THE PLAN.

2. ALL FILL MATERIAL ADJACENT TO ANY WETLAND AREAS SHALL BE GOOD QUALITY, WITH LESS THAN 5% FINES PASSING THROUGH A #200 SIEVE (BANK RUN), SHALL BE PLACED IN MAXIMUM ONE FOOT LIFTS, AND SHALL BE COMPACTED TO 95% MAX. DRY DENSITY MODIFIED PROCTOR OR AS SPECIFIED IN CONTRACT SPECIFICATIONS.

3. AS GENERAL GRADING OPERATIONS PROGRESS, THE TEMPORARY DIVERSION DITCHES SHALL BE RAISED OR LOWERED, AS NECESSARY, TO DIVERT SURFACE RUNOFF TO THE BASINS.

OPERATION IV – PLACEMENT OF DRAINAGE STRUCTURES, UTILITIES, AND BUILDING CONSTRUCTION.

1. STAKED SILT FENCES SHALL BE INSTALLED AT THE DOWNSIDE SIDES OF BUILDING EXCAVATIONS, DEWATERING PUMP DISCHARGES, AND UTILITY TRENCH MATERIAL STOCKPILES.

2. NO CUT OR FILL SLOPES SHALL EXCEED 2:1 EXCEPT WHERE STABILIZED BY ROCK FACED EMBANKMENTS OR EROSION CONTROL BLANKETS, JUTE MESH AND VEGETATION. ALL SLOPES SHALL BE SEDED, AND THE ROAD SHOULDER AND BANKS WILL BE STABILIZED IMMEDIATELY UPON COMPLETION OF FINAL GRADING UNTIL TURF IS ESTABLISHED.

3. PAVEMENT BASE COURSES SHALL BE INSTALLED OVER AREAS TO BE PAVED AS SOON AS FINAL SUB-GRADES ARE ESTABLISHED AND UNDERGROUND UTILITIES HAVE BEEN INSTALLED.

4. CONSTRUCT PAVEMENT. PLACE TOPSOIL, FINAL SEED, MULCH AND LANDSCAPING.

5. REMOVE ALL TEMPORARY EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE BEEN PAVED AND/OR GRASS HAS BEEN WELL ESTABLISHED AND THE SITE HAS BEEN INSPECTED AND APPROVED BY THE TOWN OR GOVERNING WETLAND AGENCY.

EROSION AND SEDIMENT CONTROL PLAN: SEDIMENT AND EROSION CONTROL NOTES

1. THE DRAWING IS ONLY INTENDED TO DESCRIBE THE SEDIMENT AND EROSION CONTROL TREATMENT FOR THE SITE. SEE SEDIMENT AND EROSION CONTROL DETAILS AND CONSTRUCTION SEQUENCE. REFER TO SITE PLAN FOR GENERAL INFORMATION AND OTHER PLANS FOR APPROPRIATE INFORMATION.

2. AYR WELLNESS IS THE PERMITTEE RESPONSIBLE FOR IMPLEMENTING THE EROSION AND SEDIMENT CONTROL PLAN. THE PLAN IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFICATION TO BLOOMFIELD WILDLANDS ENFORCEMENT OFFICER OR GOVERNING AUTHORITY OF THE TRANSFER OF THE RESPONSIBILITY AND FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.

3. THE CONTRACTOR SHALL CONSTRUCT ALL SEDIMENT AND EROSION CONTROLS IN ACCORDANCE WITH THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND AS DIRECTED BY THE TOWN OF BLOOMFIELD. THE CONTRACTOR SHALL KEEP A COPY OF THE GUIDELINES ON-SITE FOR REFERENCE DURING CONSTRUCTION.

4. ADDITIONAL AND/OR ALTERNATIVE SEDIMENT AND EROSION CONTROL MEASURES MAY BE INSTALLED DURING THE CONSTRUCTION PERIOD IF FOUND NECESSARY BY THE CONTRACTOR, OWNER, SITE ENGINEER, TOWN OFFICIALS, OR ANY GOVERNING AGENCY. THE CONTRACTOR SHALL CONTACT THE OWNER AND APPROPRIATE GOVERNING AGENCIES FOR APPROVAL IF ALTERNATIVE CONTROLS OTHER THAN THOSE SHOWN ON THE PLANS ARE PROPOSED.

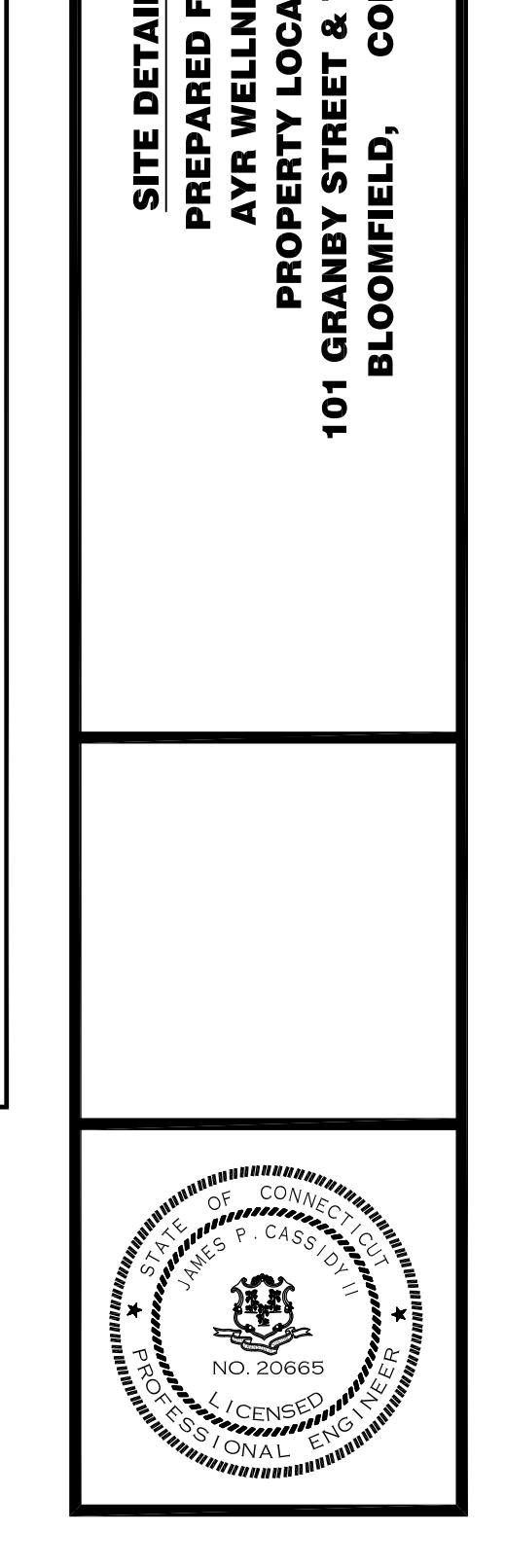
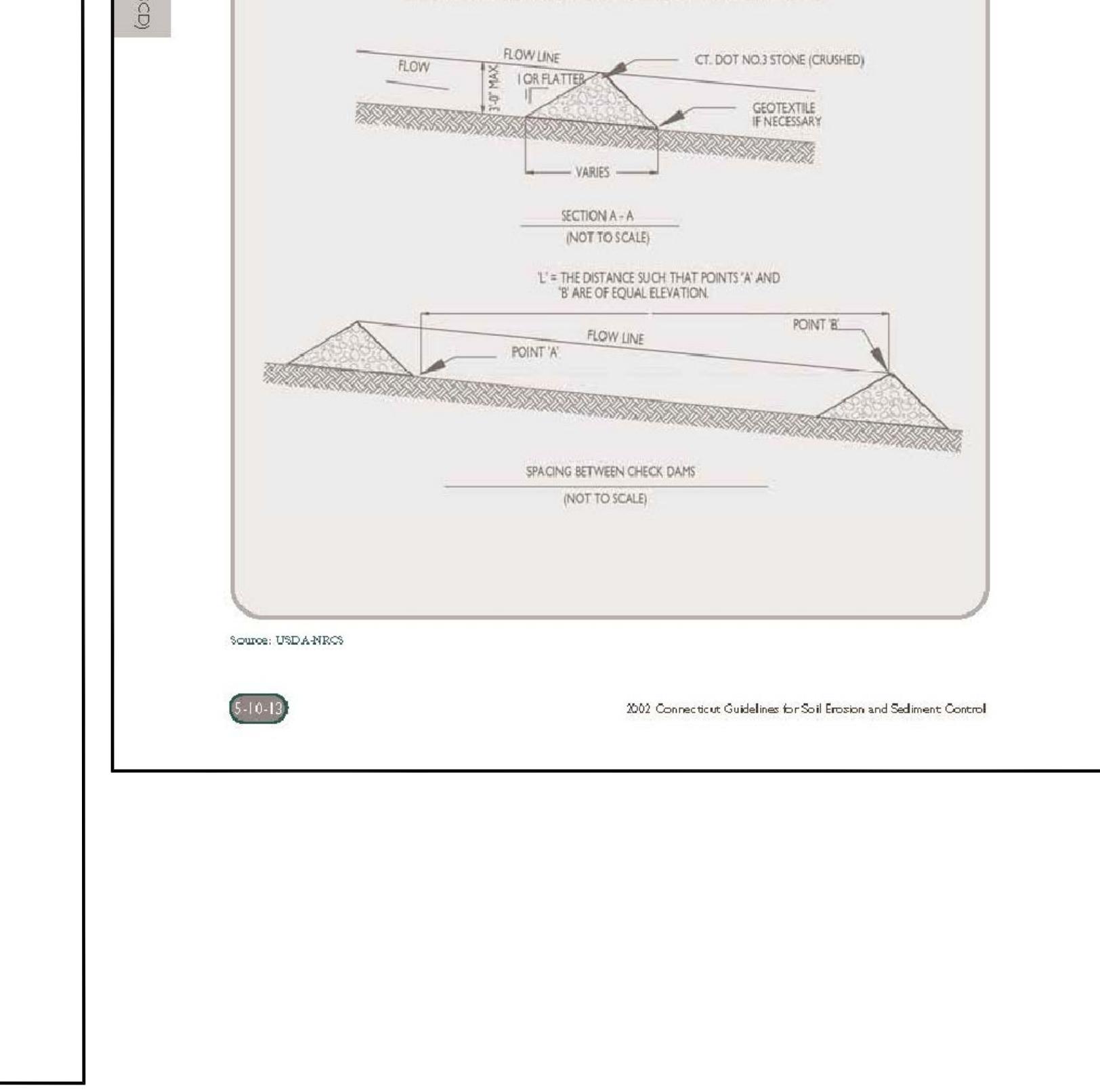
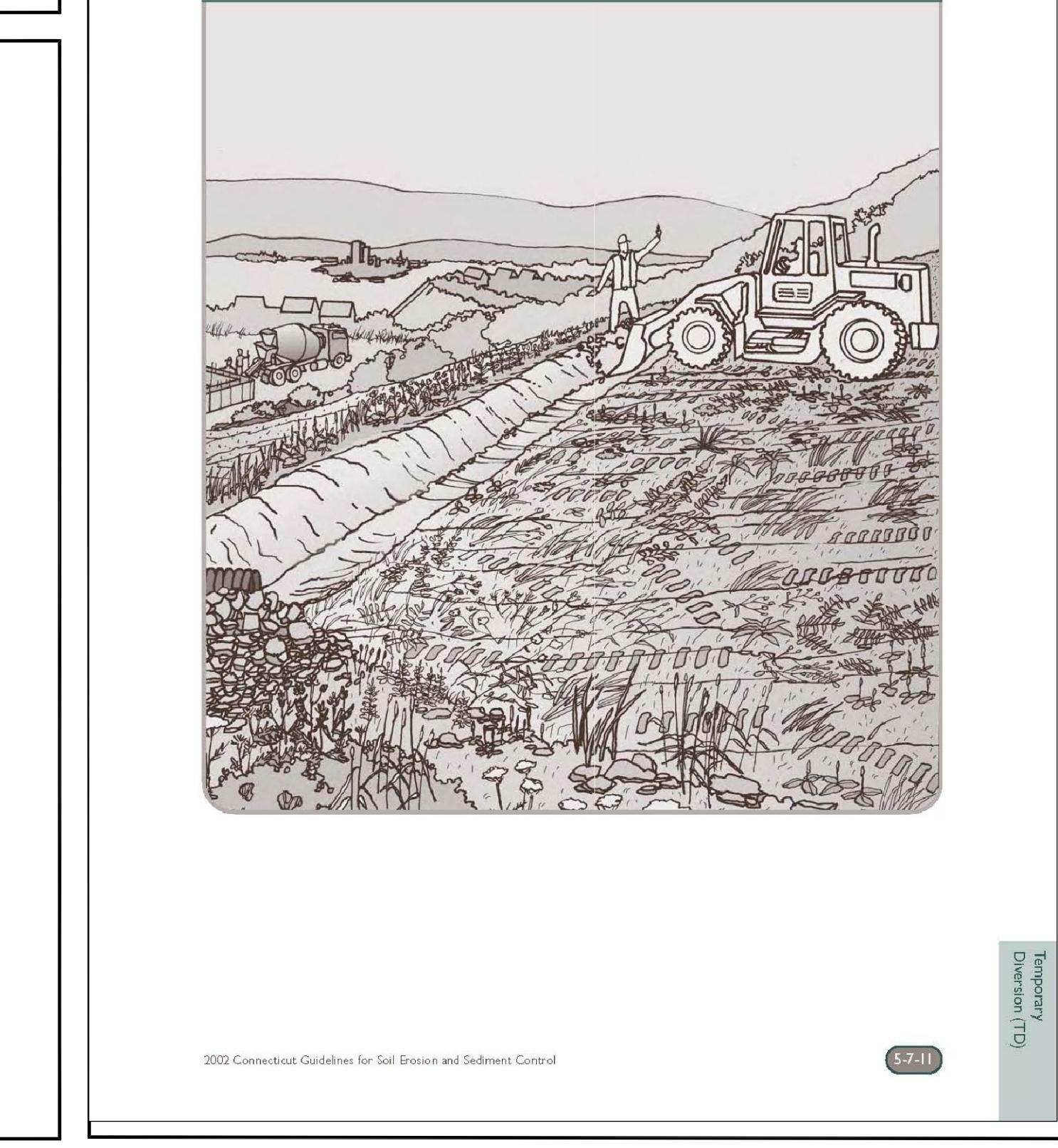
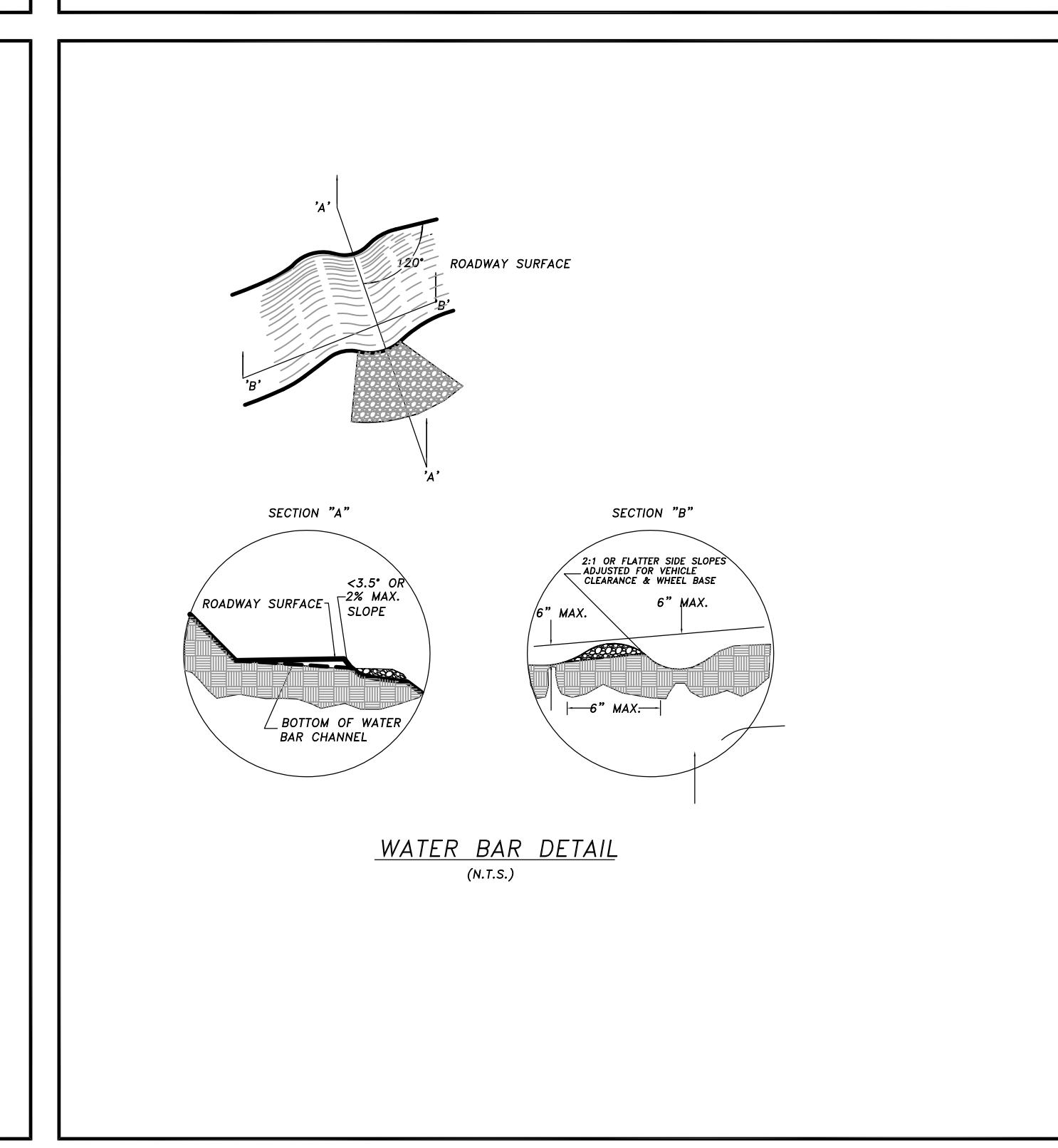
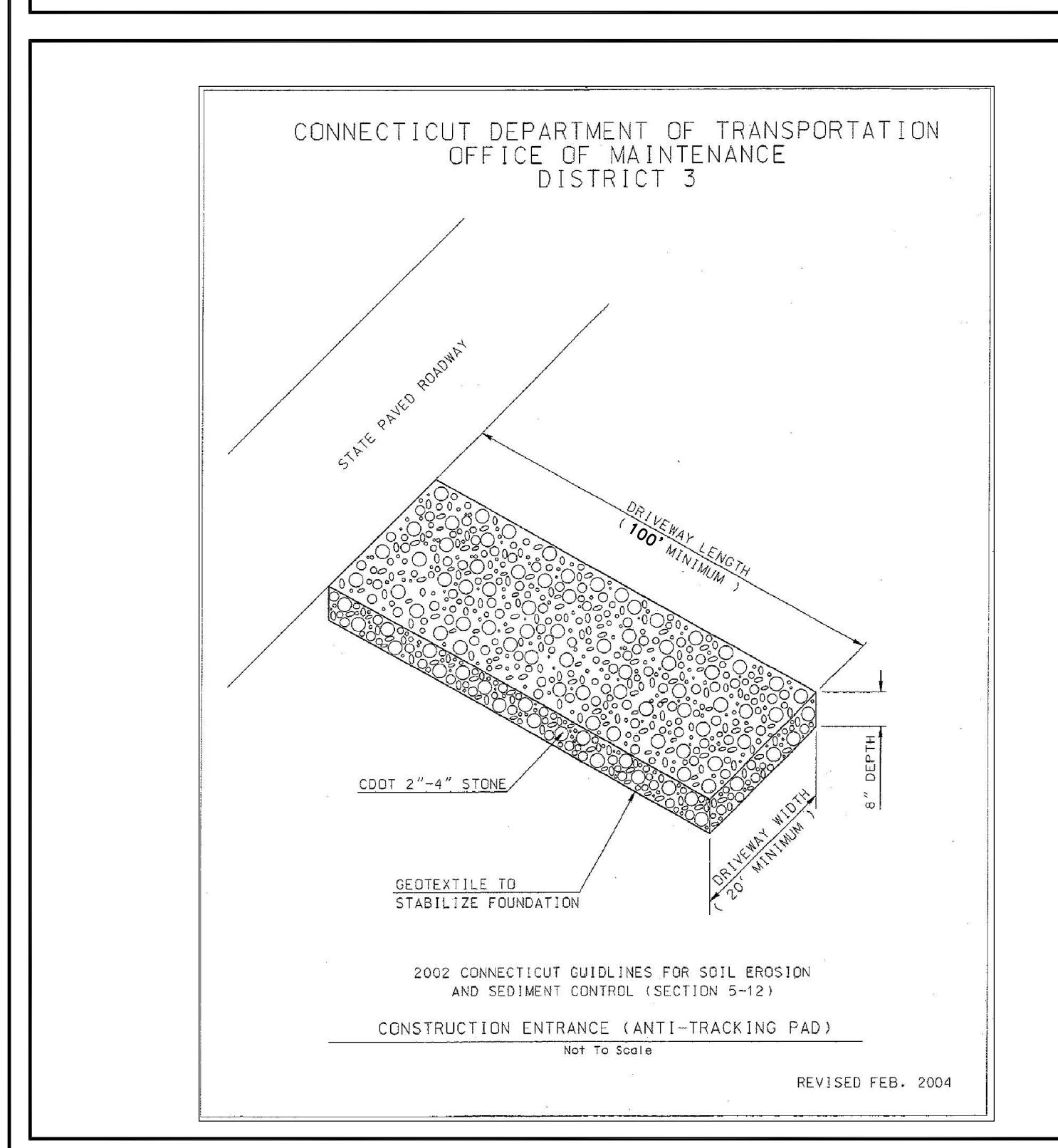
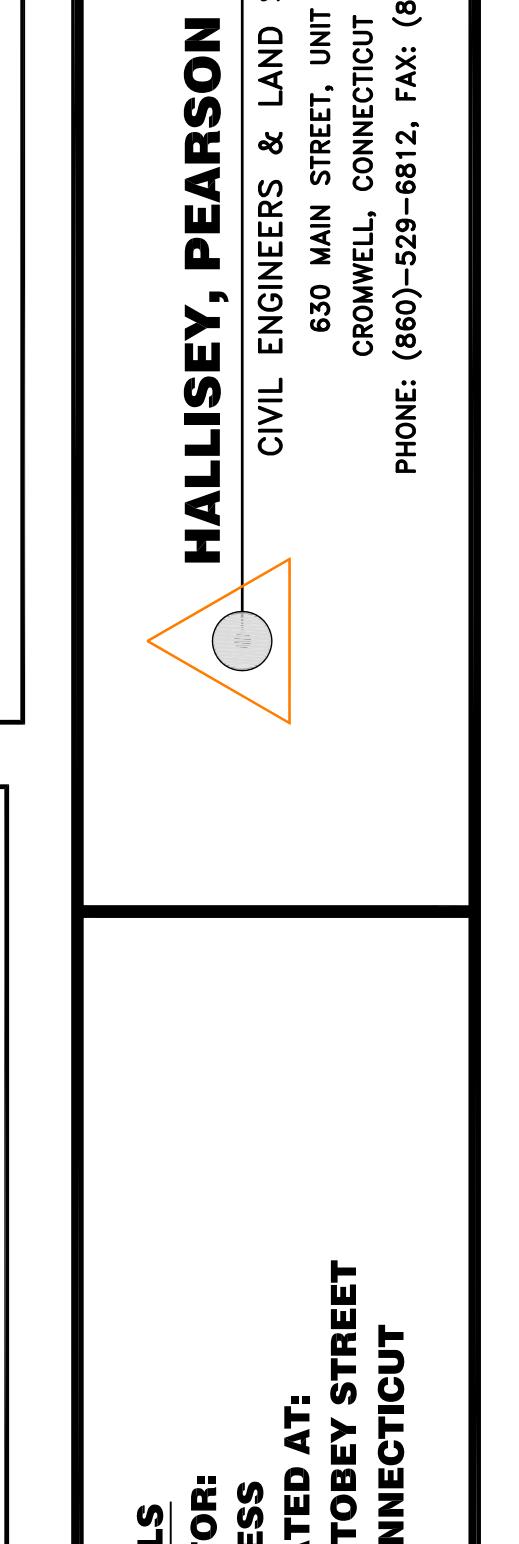
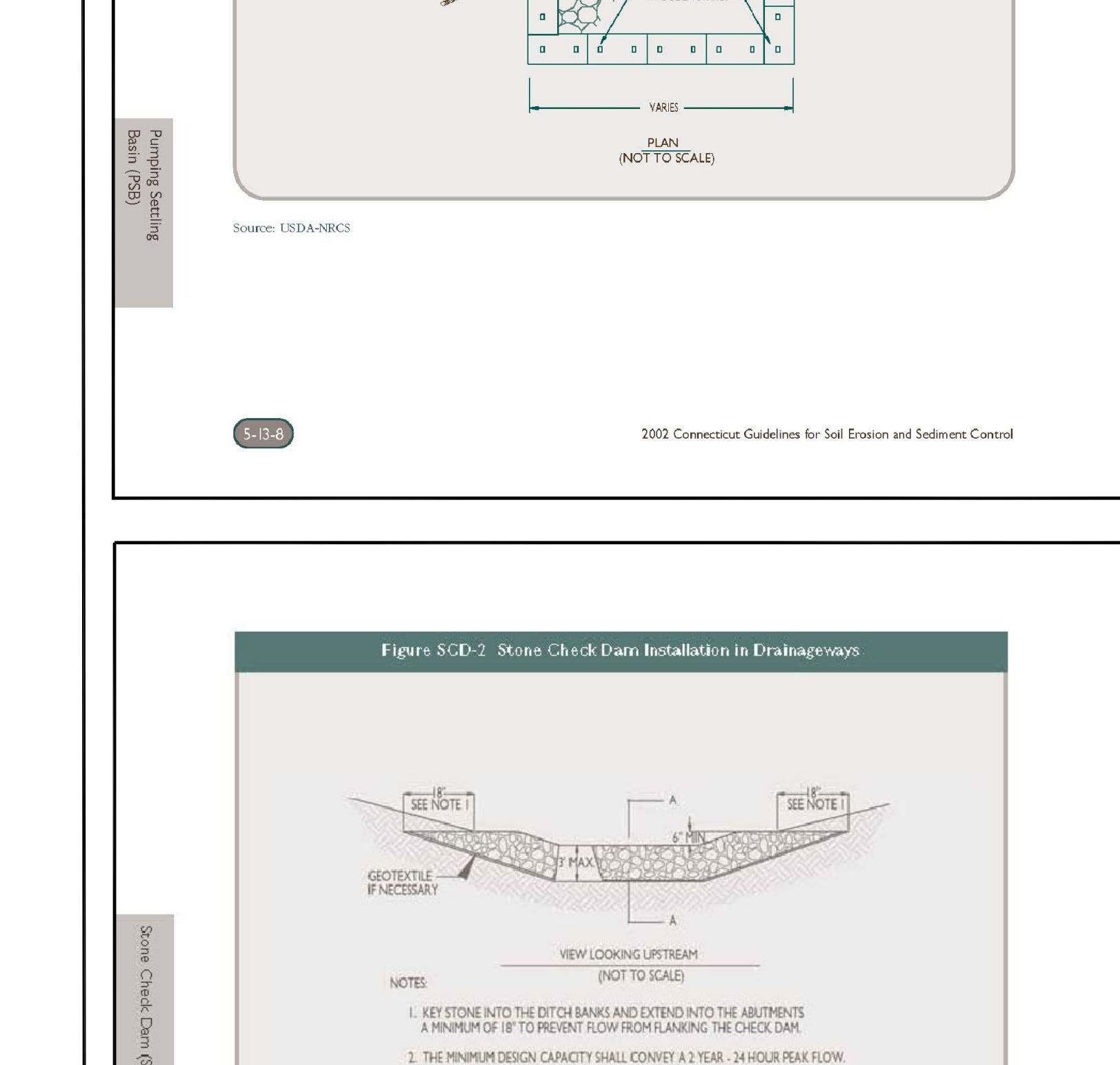
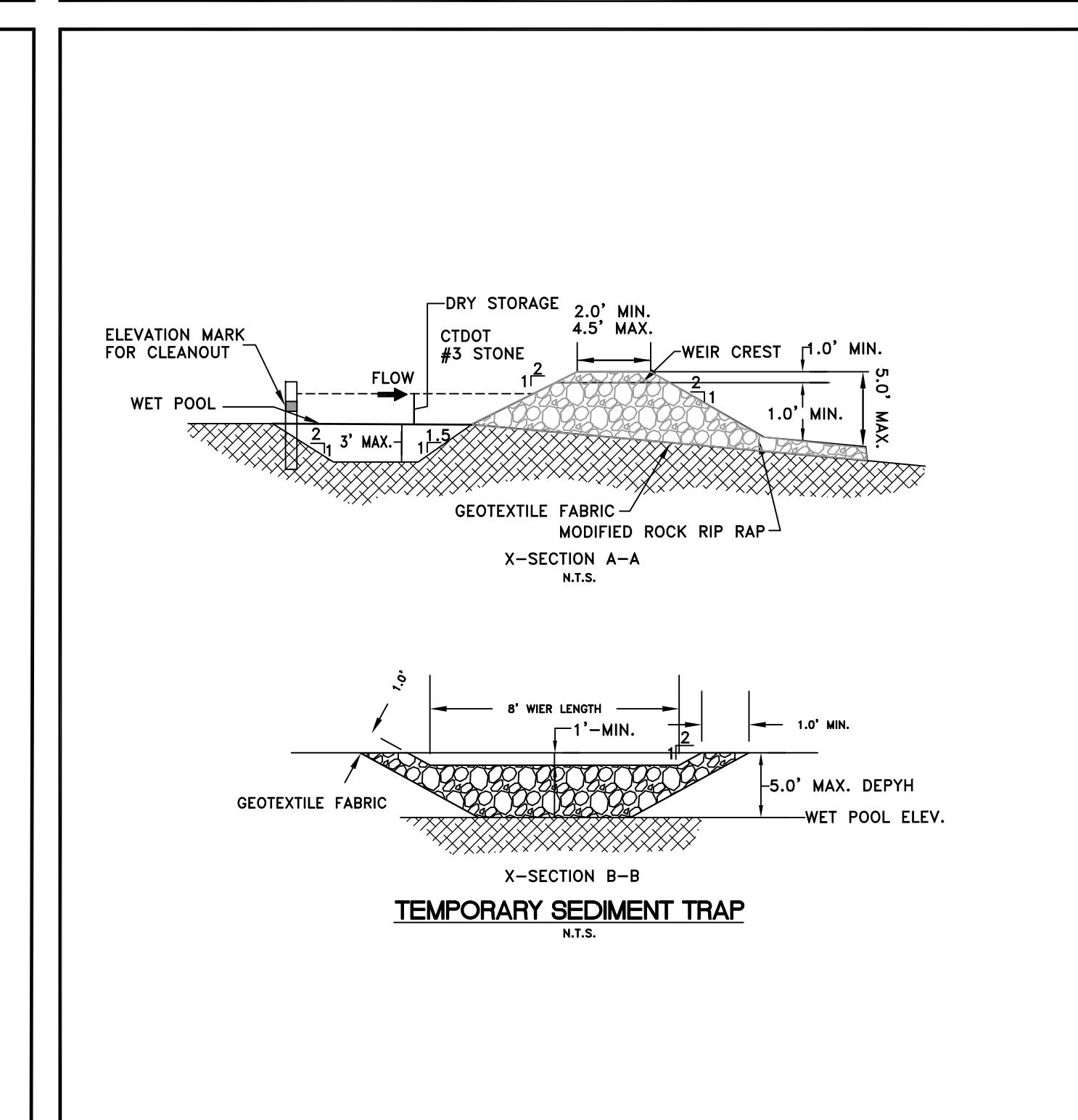
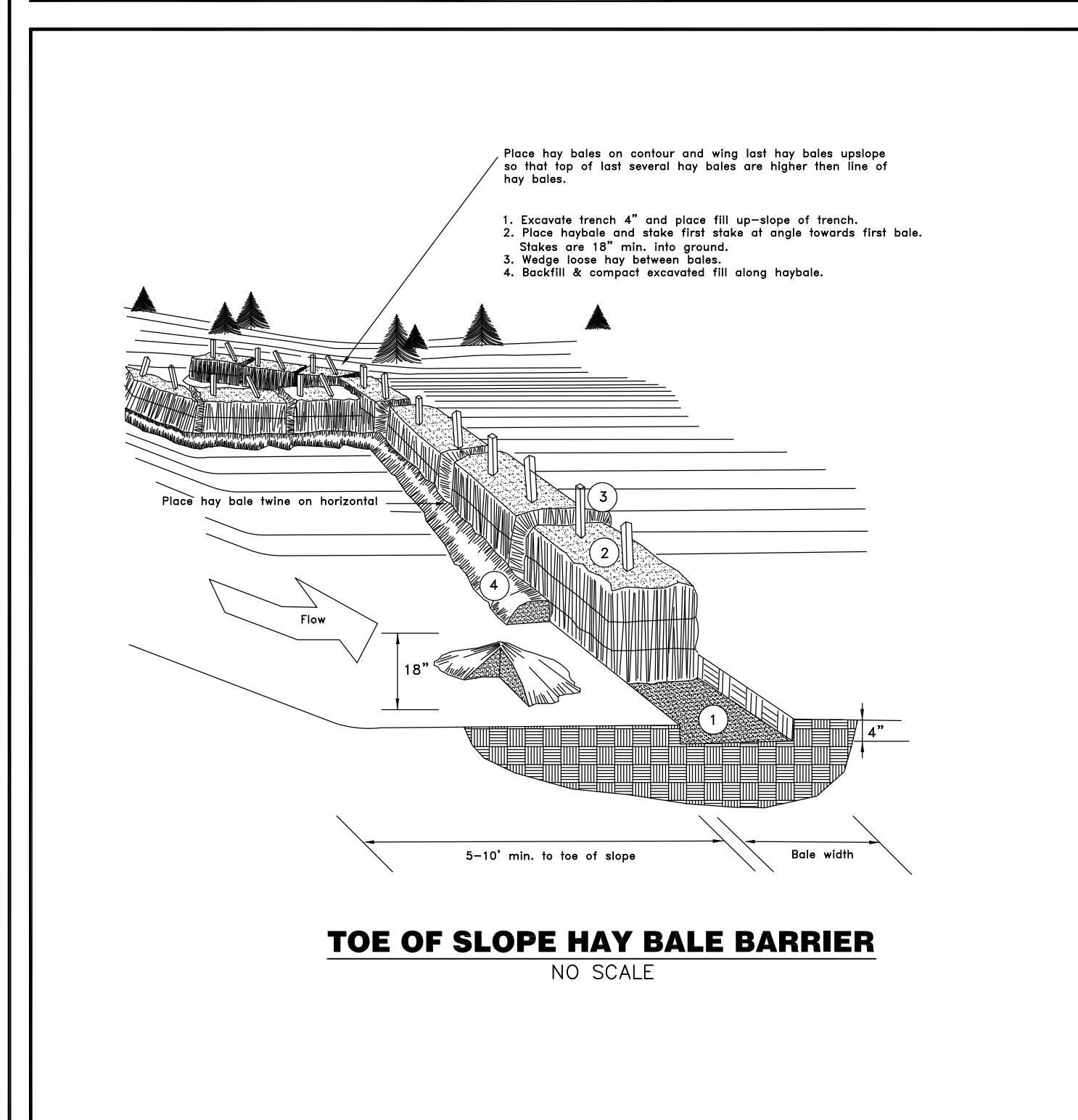
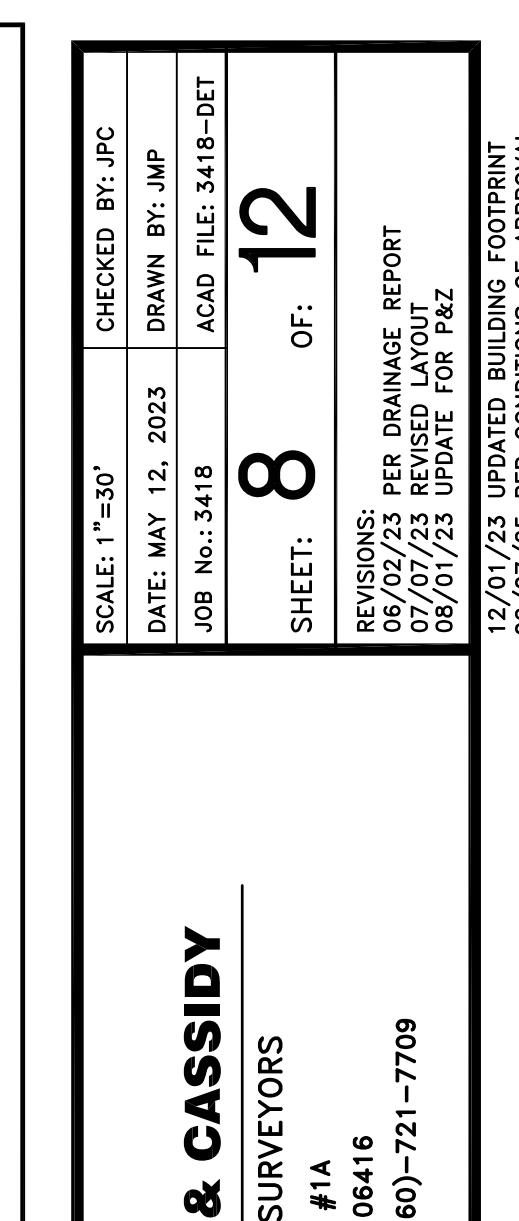
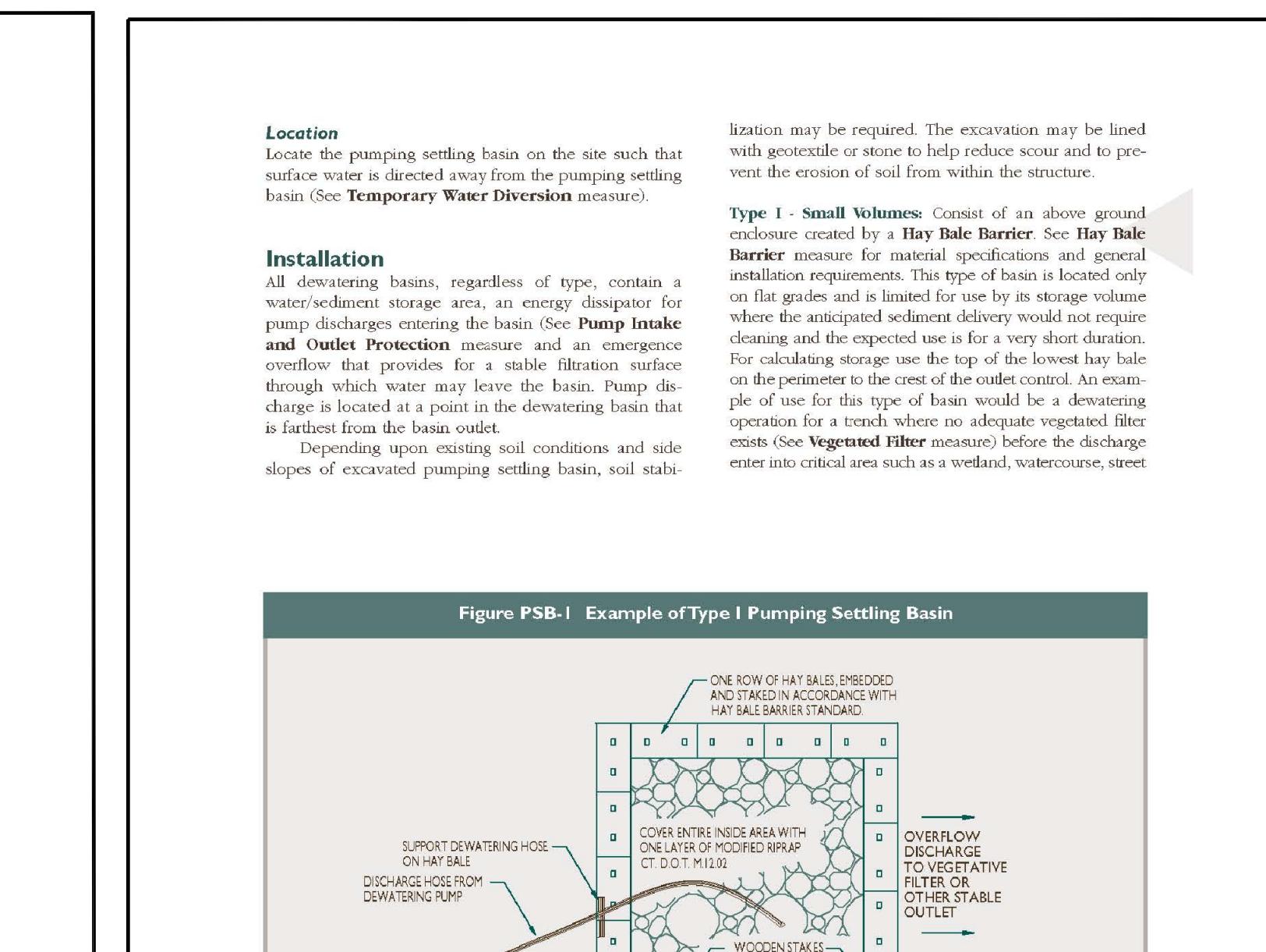
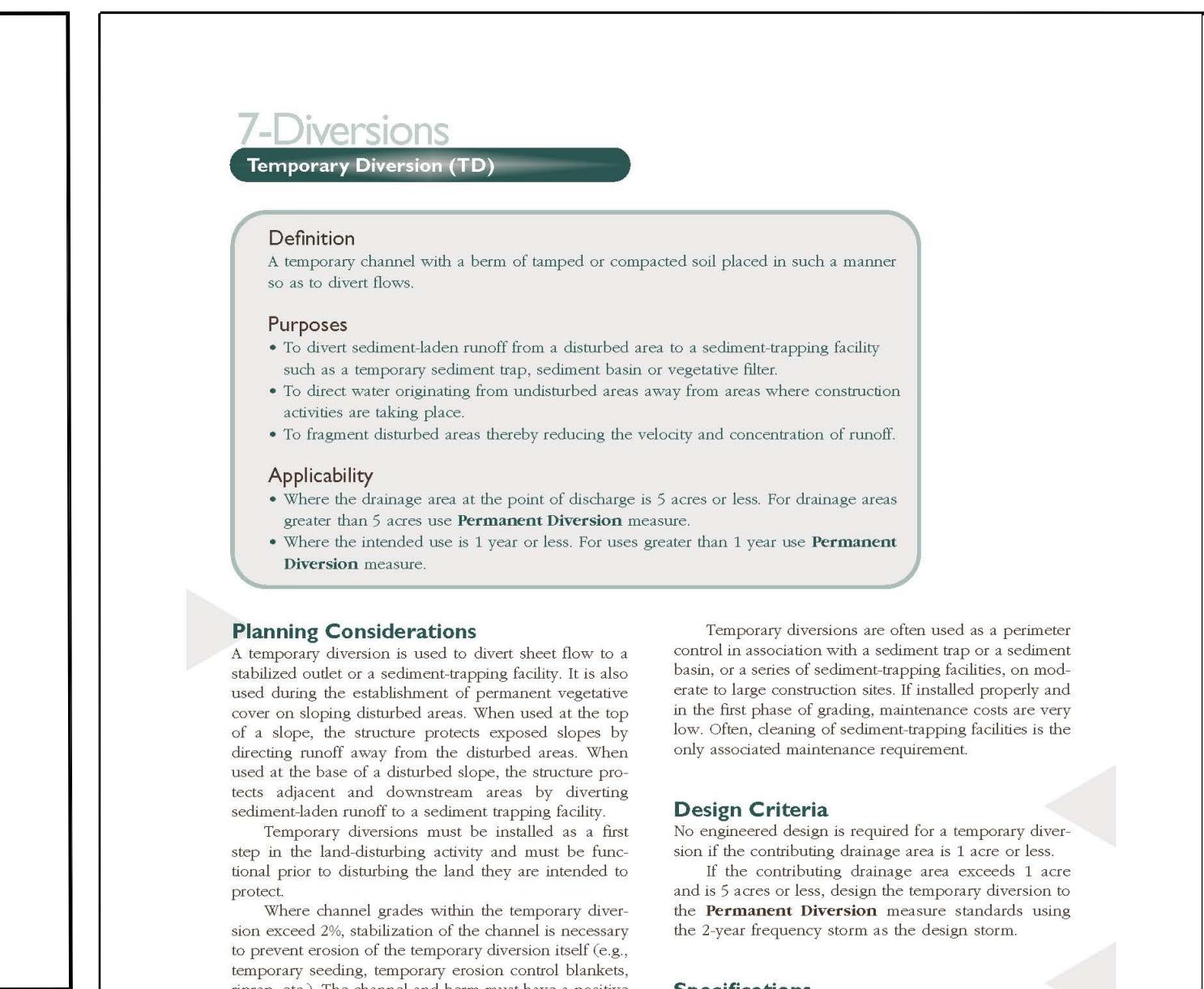
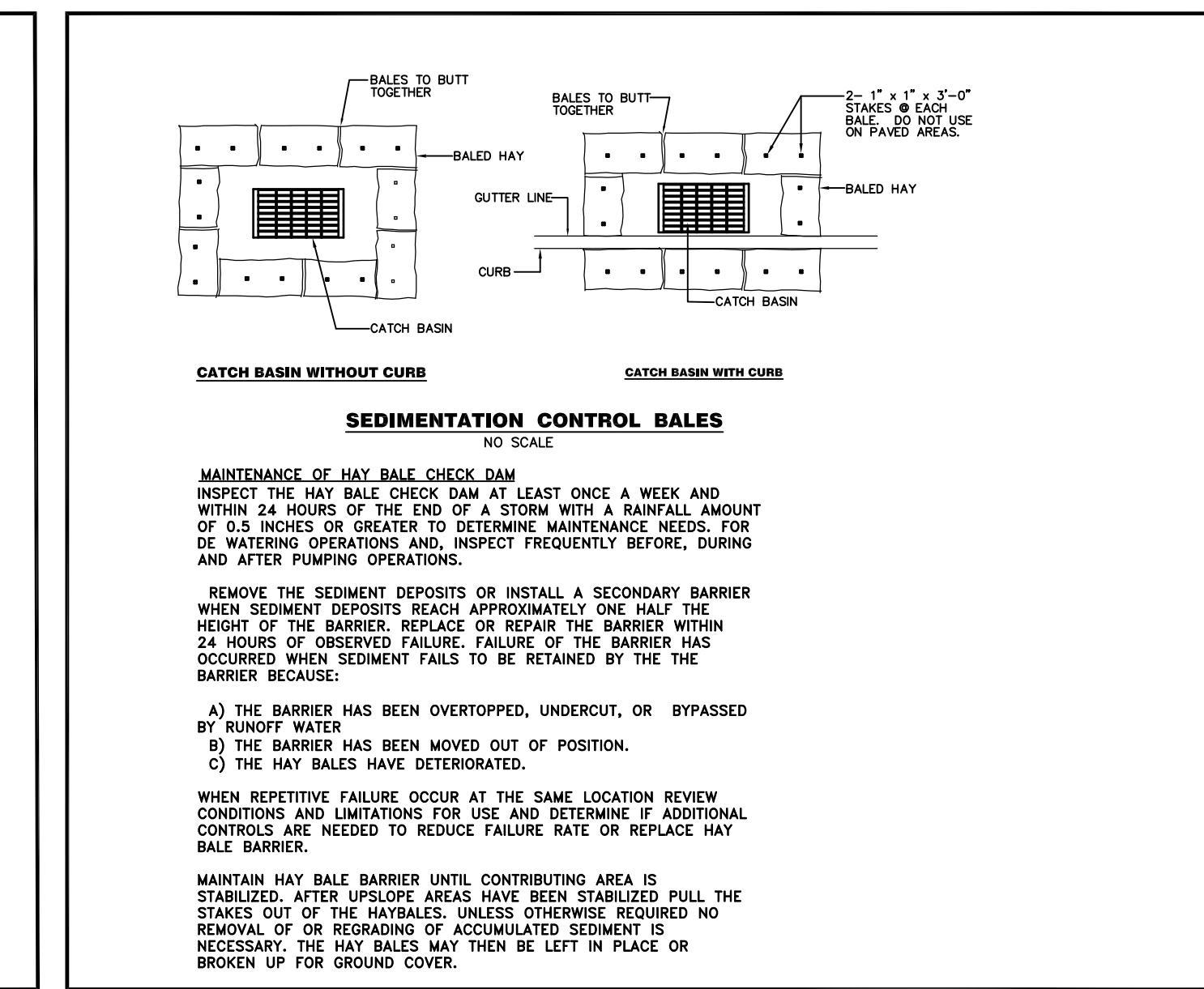
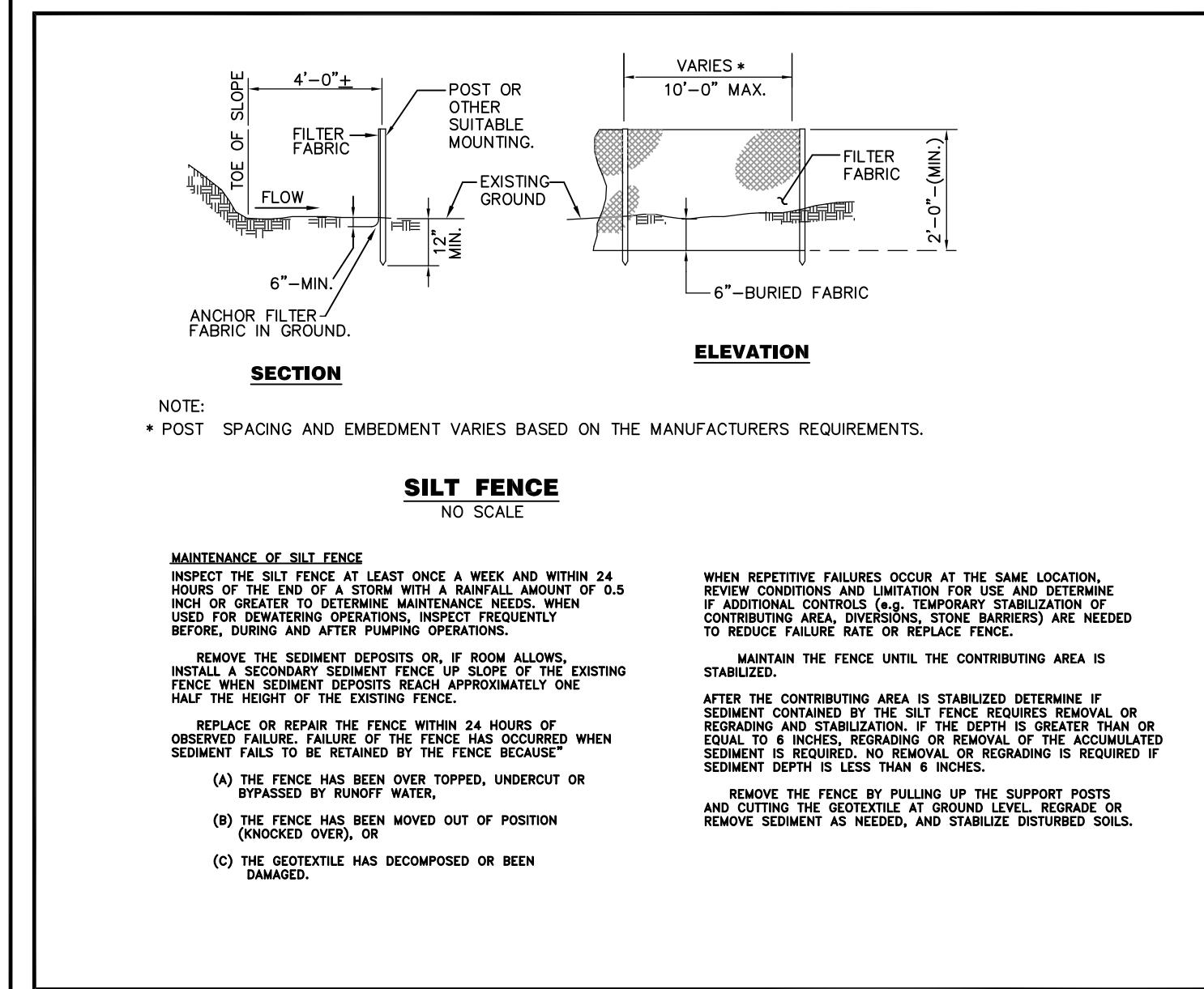
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAIN A CT DEEP GENERAL PERMIT FOR THE DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES. THE PERMIT WILL REQUIRE SPECIFIC EROSION CONTROL INSPECTIONS.

Routine Inspections

The permittee shall routinely inspect the site for compliance with the general permit and the Plan for the site until a Notice of Termination has been submitted. Inspection procedures for these routine inspections shall be addressed and implemented in the following manner:

(i) The permittee shall maintain a rain gauge on-site to document rainfall amounts. At least once a week and within 24 hours of the end of a storm that generates a discharge, a qualified inspector (provided by the permittee), as defined in the "Definitions" section (Section 2) of the general permit, shall inspect, at a minimum, the following: disturbed areas of the construction activity that have not been finally stabilized; all erosion and sedimentation control measures; all structural control measures; soil stockpile areas; washout areas and locations where vehicles enter or exit the site. These areas shall be inspected for evidence of, or the potential for, pollutants entering the drainage system and impacts to the receiving waters. Locations where vehicles enter or exit the site shall also be inspected for evidence of off-site sediment tracking. For storms that end on a weekend, holiday or other time after which normal working hours will resume, the inspection shall be delayed until the next working day for storms that equal or exceed 0.5 inches. For storms of less than 0.5 inches, an inspection shall occur immediately upon the start of the subsequent normal working hours. Where sites have been temporarily or finally stabilized, such inspection shall be conducted at least once every month for three months.

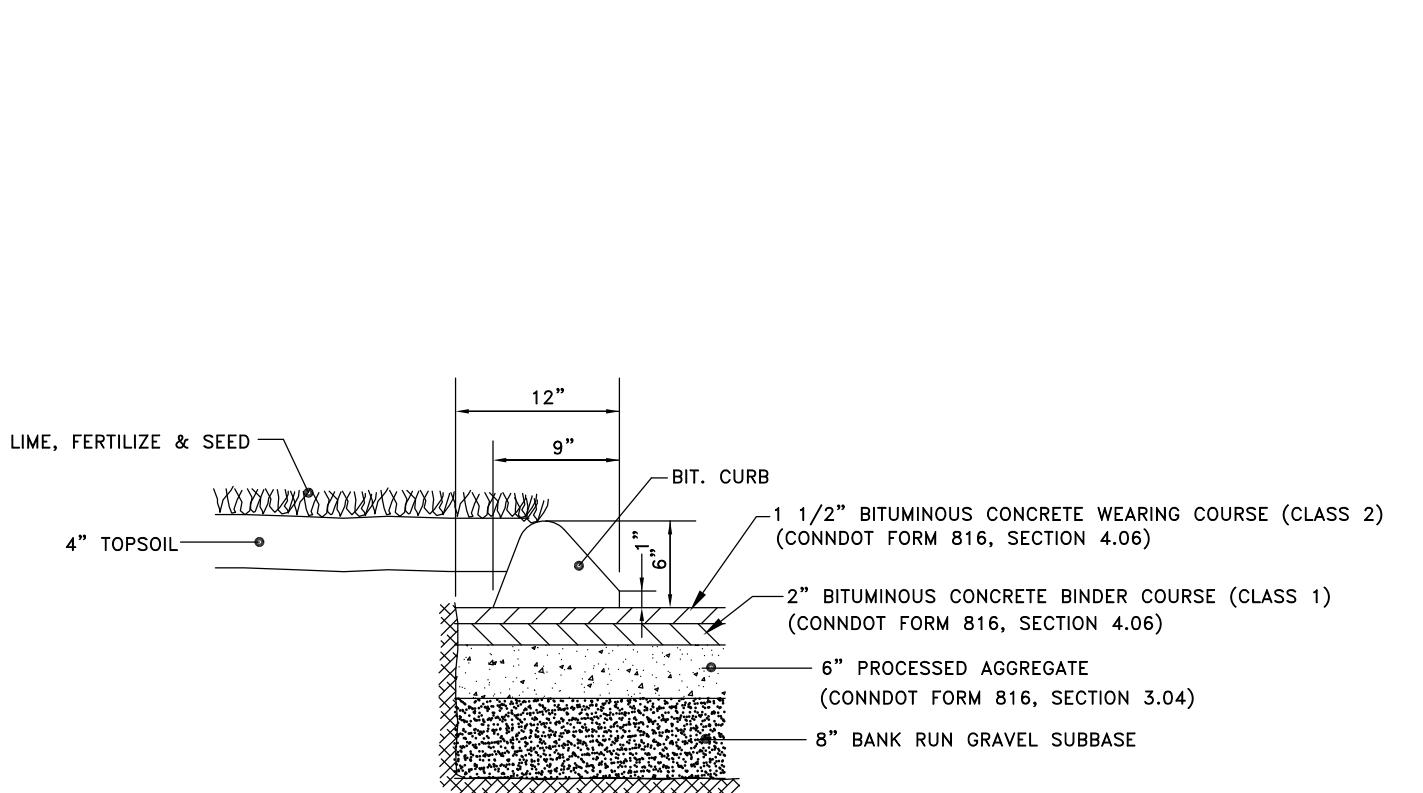
(ii) The qualified inspector(s) shall evaluate the effectiveness of erosion and sediment controls, structural controls, stabilization practices, and any other controls implemented to prevent pollution and determine if it is necessary to install, maintain, or repair such controls and/or practices to improve the quality of stormwater discharge(s).





HANDICAPPED ACCESIBLE PARKING SYMBOL

NO SCALE

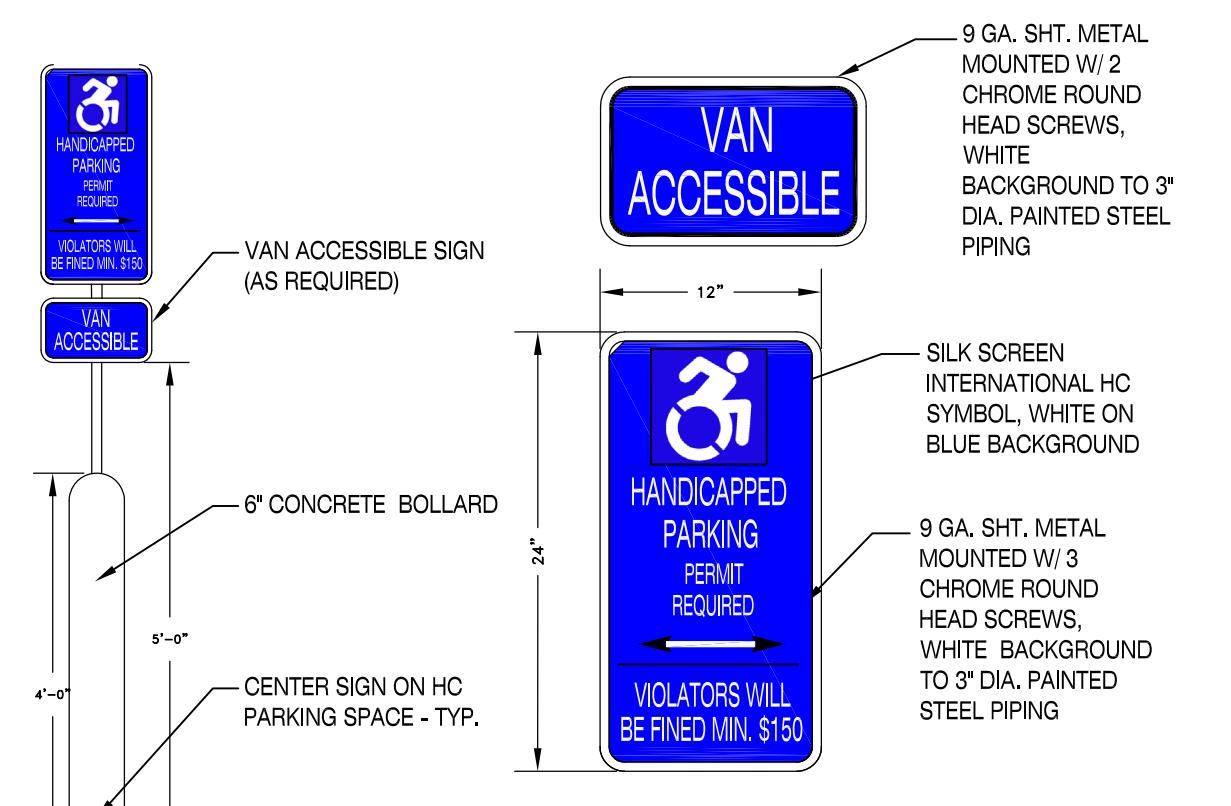


BITUMINOUS CONCRETE PAVEMENT

PARKING AREA SPACES

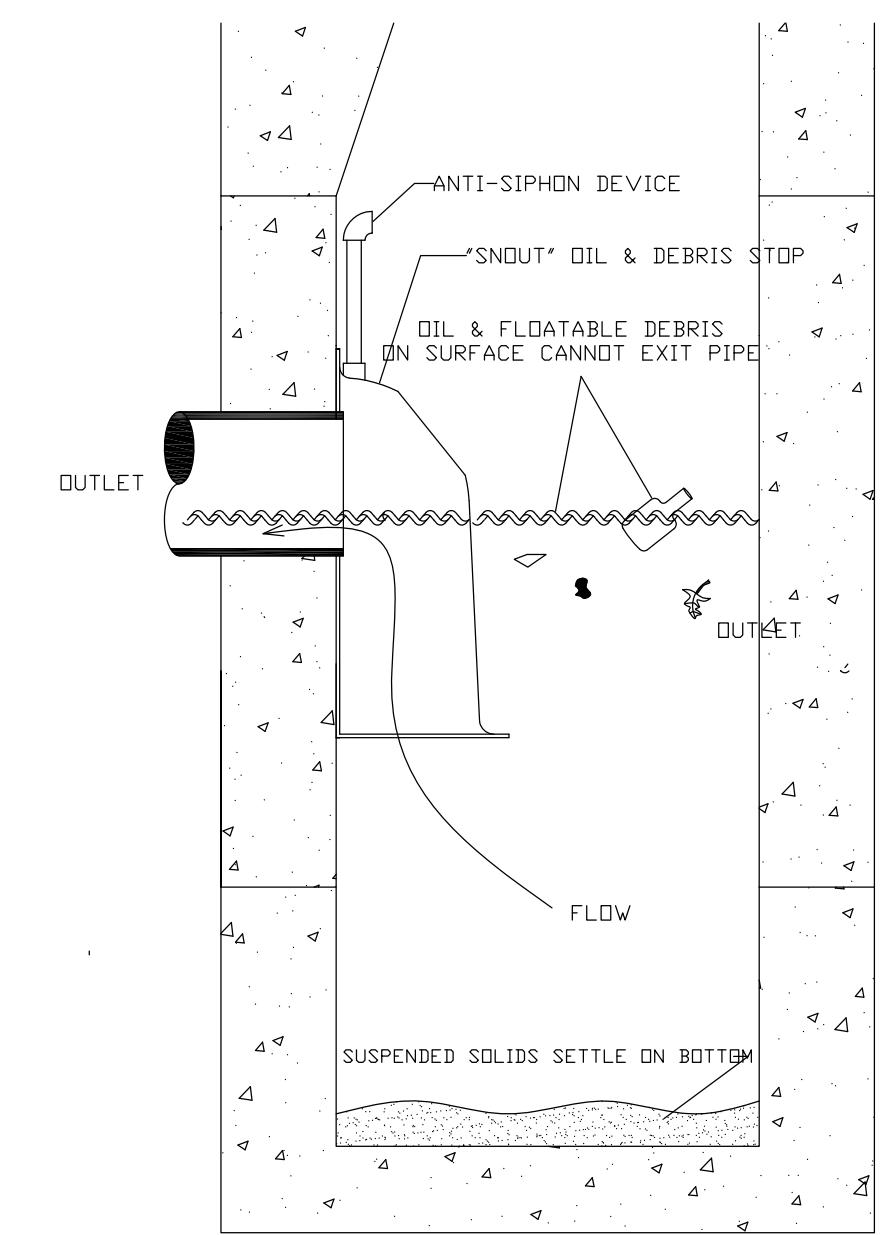
(STANDARD DUTY)

N.T.S.

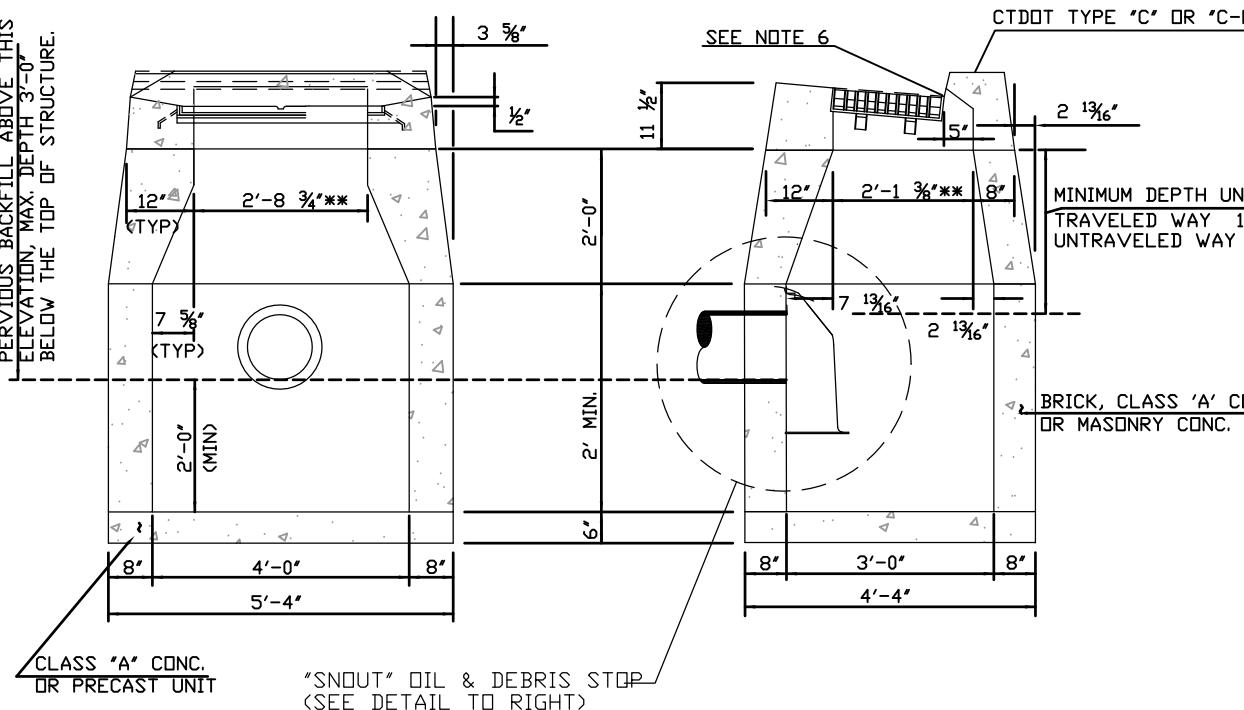


HANDICAPPED PARKING SIGN DETAIL

NO SCALE



SNOUT CATCH BASIN
INSTALLATION
(TYPICAL)



NOTES:

1) WALLS OF ALL CATCH BASINS OVER 10 FT. DEEP SHALL BE INCREASED TO 12" THICKNESS. INSIDE DIMENSIONS SHALL REMAIN THE SAME.

2) PROVIDE DRAINAGE OPENING IN EACH WALL AT LOWEST INVERT ELEVATION.

3) WHERE BRICK OR MASONRY CONCRETE UNITS ARE USED, CORBELING WILL BE PERMITTED. MAXIMUM CORBEL SHALL BE 3". NO PROJECTION SHALL EXCEED INSIDE OF LIMITS NOTED BY **.

4) PRECAST CONCRETE CATCH BASIN UNITS MAY BE USED, AS DESCRIBED IN THE STANDARD SPECIFICATIONS.

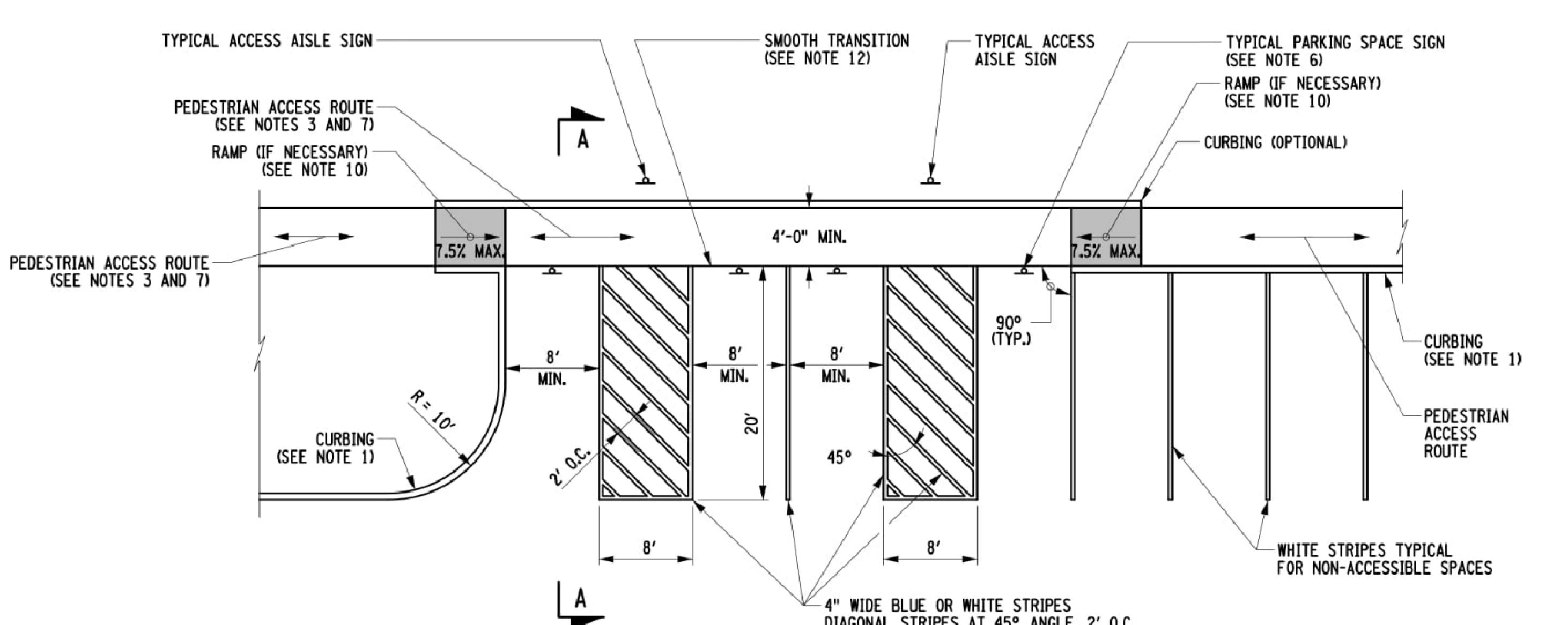
5) WHERE PRECAST CONCRETE UNIT IS USED FOR THE SUMP, THE TOP OF THE UNIT SHALL BE AT LEAST 6" BELOW THE BOTTOM OF THE PIPE BUTTELING FROM THE CATCH BASIN.

6) TOP OF FRAME ELEVATION SHALL BE DEPRESSED 1" BELOW NORMAL GUTTER GRADE.

7) PROVIDE 6" (MIN) GRANULAR FILL UNDER STRUCTURE TO REPLACE UNSUITABLE MATERIAL.

TYPICAL CATCH BASIN

NOT TO SCALE



TYPICAL ACCESSIBLE PARKING LOT LAYOUT

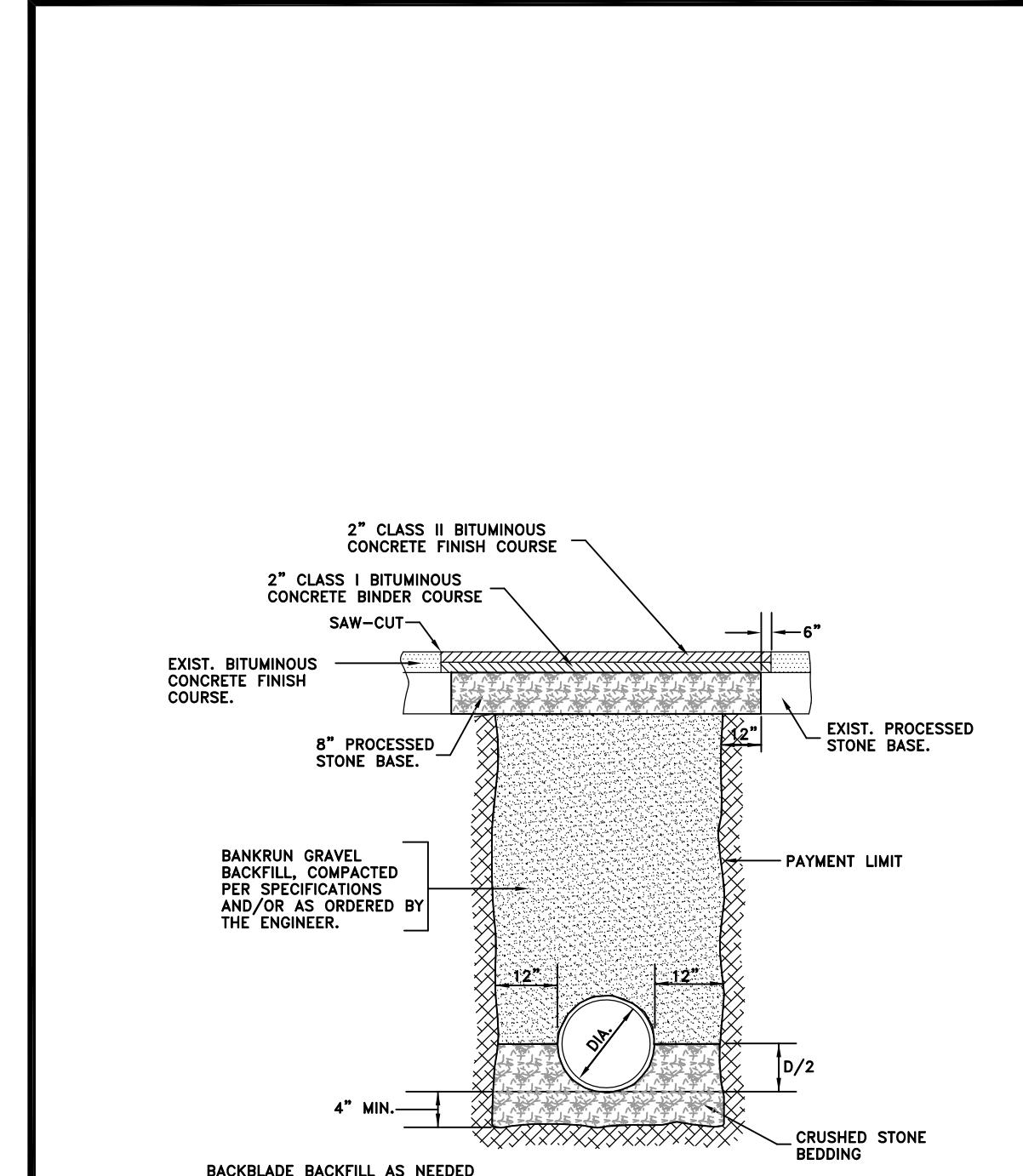
NOTES:

1. THIS SHEET IS INTENDED TO DEPICT THE DIMENSIONAL REQUIREMENTS OF TYPICAL ACCESSIBLE PARKING LOT SPACES. THE SIDEWALK, CURBING, AND PAVEMENT MATERIALS SHALL BE AS SPECIFIED ELSEWHERE IN THE CONTRACT DOCUMENTS.
2. MINIMUM NUMBER OF ACCESSIBLE SPACES:

TOTAL SPACES IN LOT	MINIMUM NUMBER OF ACCESSIBLE SPACES	TOTAL SPACES IN LOT	MINIMUM NUMBER OF ACCESSIBLE SPACES
1 TO 25	1	201 TO 300	7
26 TO 50	2	301 TO 400	8
51 TO 75	3	401 TO 500	9
75 TO 100	4	501 TO 1,000	2X OF TOTAL
101 TO 150	5	1,001 AND OVER	20, PLUS ONE FOR EACH 100, OR FRACTION THEREOF, OVER 1,000
151 TO 200	6		

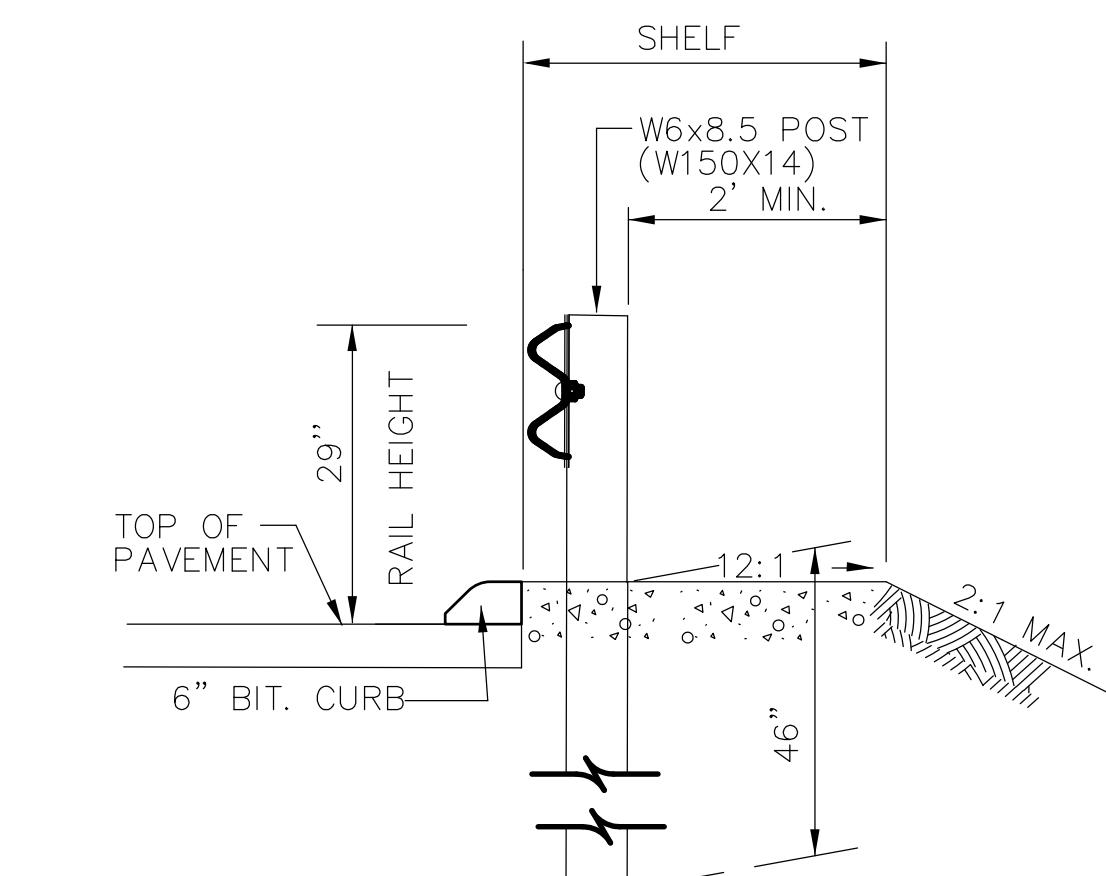
EXCEPTION: PARKING AREAS ON THE PREMISES OF, OR IMMEDIATELY ADJACENT TO, MEDICAL SERVICES FACILITIES PROVIDING TREATMENT FOR MOBILITY IMPAIRED PERSONS AND OTHER SIMILAR LOCATIONS MAY REQUIRE A GREATER NUMBER OF ACCESSIBLE PARKING SPACES THAN INDICATED ABOVE. REFER TO THE APPLICABLE ACCESSIBILITY STANDARD.

3. LOCATION - PARKING SPACES FOR USE BY PERSONS WITH DISABILITIES SHALL BE IN THE SPACES CLOSEST TO THE NEAREST ACCESSIBLE BUILDING OR FACILITY ENTRANCE ON AN ACCESSIBLE ROUTE.
4. DIMENSION - ACCESSIBLE PARKING SPACES SHALL BE AT LEAST 8' WIDE AND SHALL HAVE A MINIMUM ACCESS Aisle 8' WIDE MEASURED PERPENDICULAR TO THE STALL STRIPE TO ACCOMMODATE VANS WITH LIFTS.
5. COMMON ACCESS AISLES FOR POP PARKING - TWO ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE, FOR ACUTE ANGLED PARKING, SUCH AS 60° PARKING, OR WHERE ONE WAY DRIVEWAY AISLES WOULD PREVENT VANS WITH PASSENGER SIDE LIFTS FROM BACKING INTO THE SPACES. A COMMON ACCESS AISLE MUST BE PROVIDED FOR EACH ACCESSIBLE PARKING SPACE. BOTH OF ACCESS AISLES AND PARKING SPACES ARE MEASURED PERPENDICULAR TO THE STALL STRIPE.
6. SIGNING - EACH ACCESSIBLE PARKING SPACE SHALL BE MARKED BY PERMANENTLY INSTALLED GROUND MOUNTED SIGNS WHICH DISPLAY THE INTERNATIONAL SYMBOL FOR DISABILITY. SIGNS SHALL NOT BE PLACED ON THE PAVEMENT. SIGNS SHALL NOT BE PLACED ON THE CURB. GROUND MOUNTED SIGNS INDICATING THAT STOPPING IS NOT PERMITTED IN THE AISLE, SIGNS SHALL NOT BLOCK THE ACCESSIBLE CLEAR WIDTH OF ADJACENT WALKWAYS. SIGNS LOCATED WITHIN THE ACCESS Aisle SHALL NOT EXCEED 12" IN LENGTH. SIGNS LOCATED ON THE PAVEMENT SHALL NOT EXCEED 12" IN LENGTH. SIGNS LOCATED ON POSTS INSTALLED IN PAVED AREAS SHALL BE 7" MINIMUM ABOVE THE WALKWAY SURFACE. THE BOTTOMS OF SIGNS LOCATED IN UNPAVED AREAS SHALL BE 7" MINIMUM ABOVE THE PAVEMENT SURFACE.
7. SURFACE SLOPES - SLOPES AT ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND ADJOINING WALKWAYS SHALL NOT EXCEED 1.5% MAXIMUM IN ANY DIRECTION FOR DESIGN AND LAYOUT, AND .20% MAXIMUM FOR WORK ACCEPTANCE, WHILE PROVIDING POSITIVE DRAINAGE.
8. OVERHEAD CLEARANCE - VEHICLE ACCESS ROUTES TO AND FROM ACCESSIBLE PARKING SPACES, INCLUDING IN GARAGES AND OPEN PARKING STRUCTURES, SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 7' 6".
9. PAVEMENT MARKING COLORS - REQUIRED ACCESSIBLE PARKING SPACE AND ACCESS AISLE STRIPING AND OTHER OPTIONAL PAVEMENT MARKINGS, SUCH AS THE INTERNATIONAL ACCESS SYMBOL, SHALL BE PAINTED WHITE OR BLUE.
10. REFER TO STANDARDS SHEETS 608-01 TITLED "SIDEWALK AND CURB RAMP DETAILS" FOR CURB RAMP REQUIREMENTS. DETECTABLE WARNING SURFACES ARE NOT REQUIRED.
11. A SMOOTH, FLUSH TRANSITION MUST BE PROVIDED BETWEEN ALL PEDESTRIAN WALKWAYS, ACCESSIBLE PARKING SPACES AND AISLES.
12. WHERE A CHANGE IN DIRECTION IS REQUIRED TO UTILIZE A CURB RAMP, A TURNING SPACE SHALL BE PROVIDED. THE TURNING SPACE SHALL BE 12' MINIMUM IN LENGTH. AS APPLICABLE, THE CROSS SLOPE OF TURNING SPACES SHALL NOT EXCEED 1.5% IN ANY DIRECTION FOR DESIGN AND LAYOUT, AND .20% FOR WORK ACCEPTANCE, WHILE PROVIDING POSITIVE DRAINAGE.



TYPICAL STORM TRENCH
CROSS SECTION

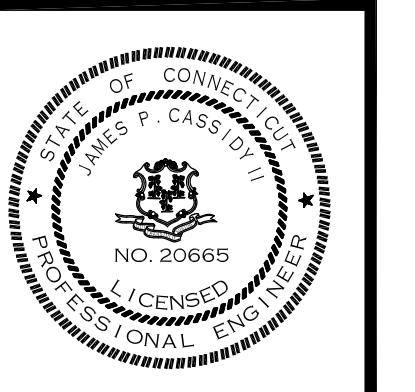
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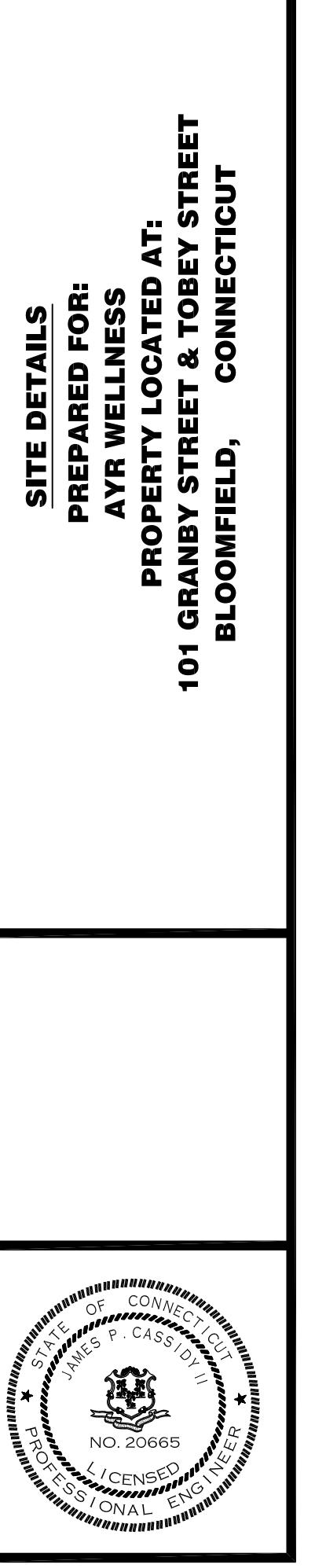
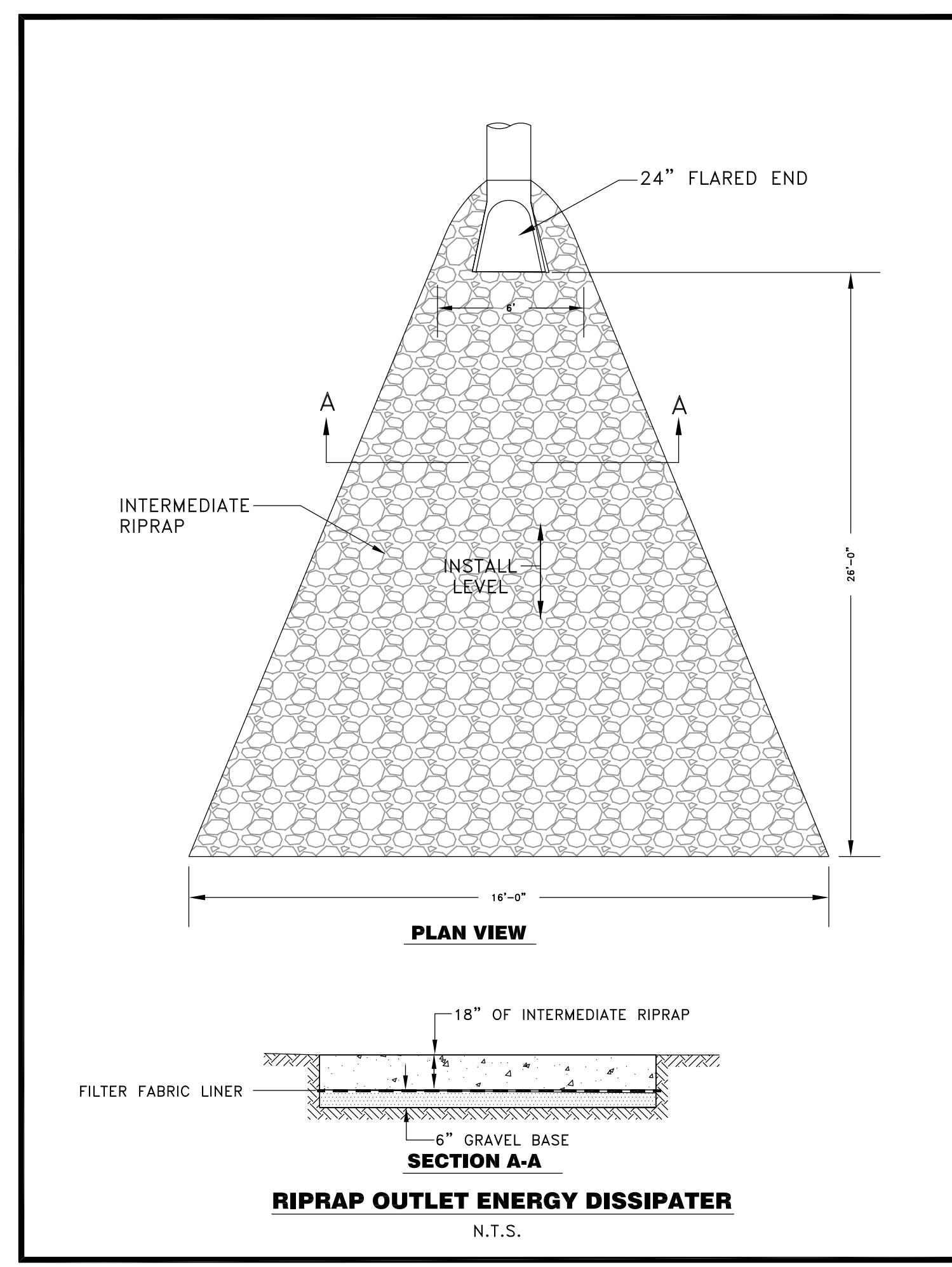
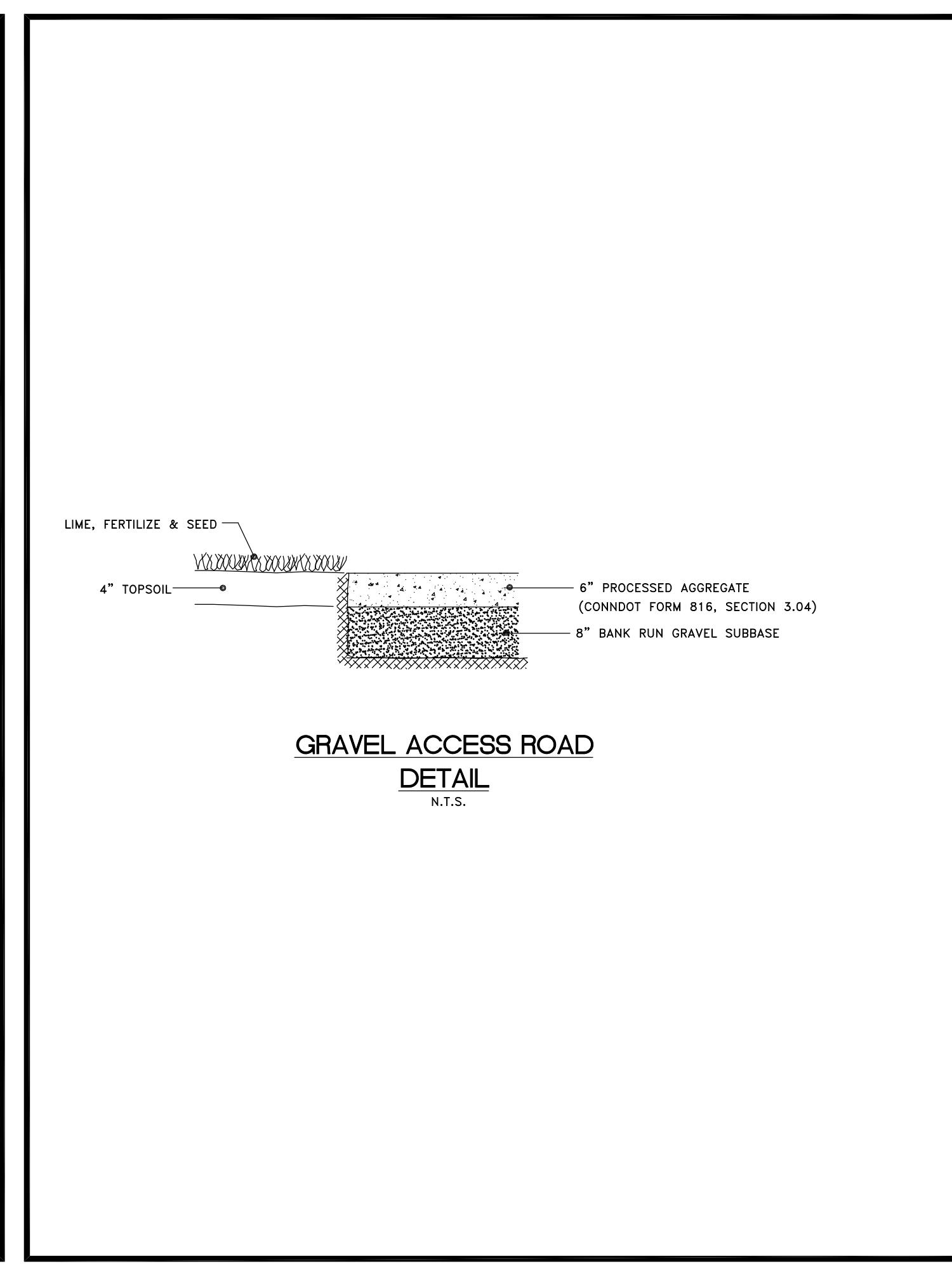
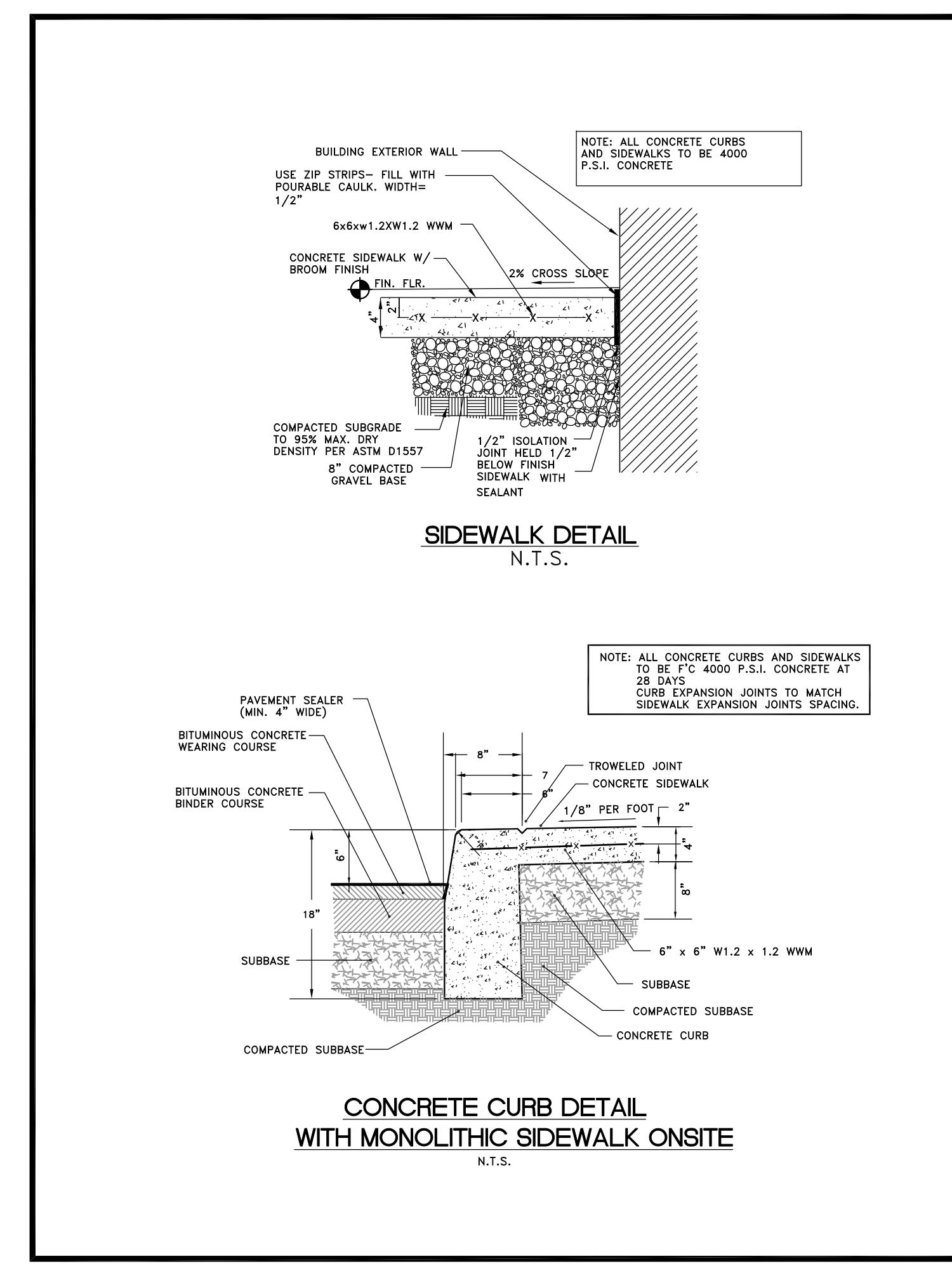
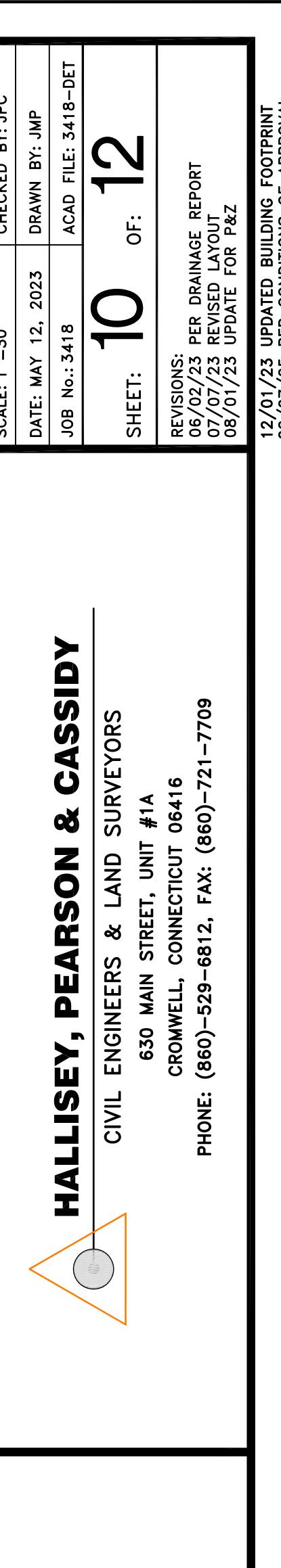
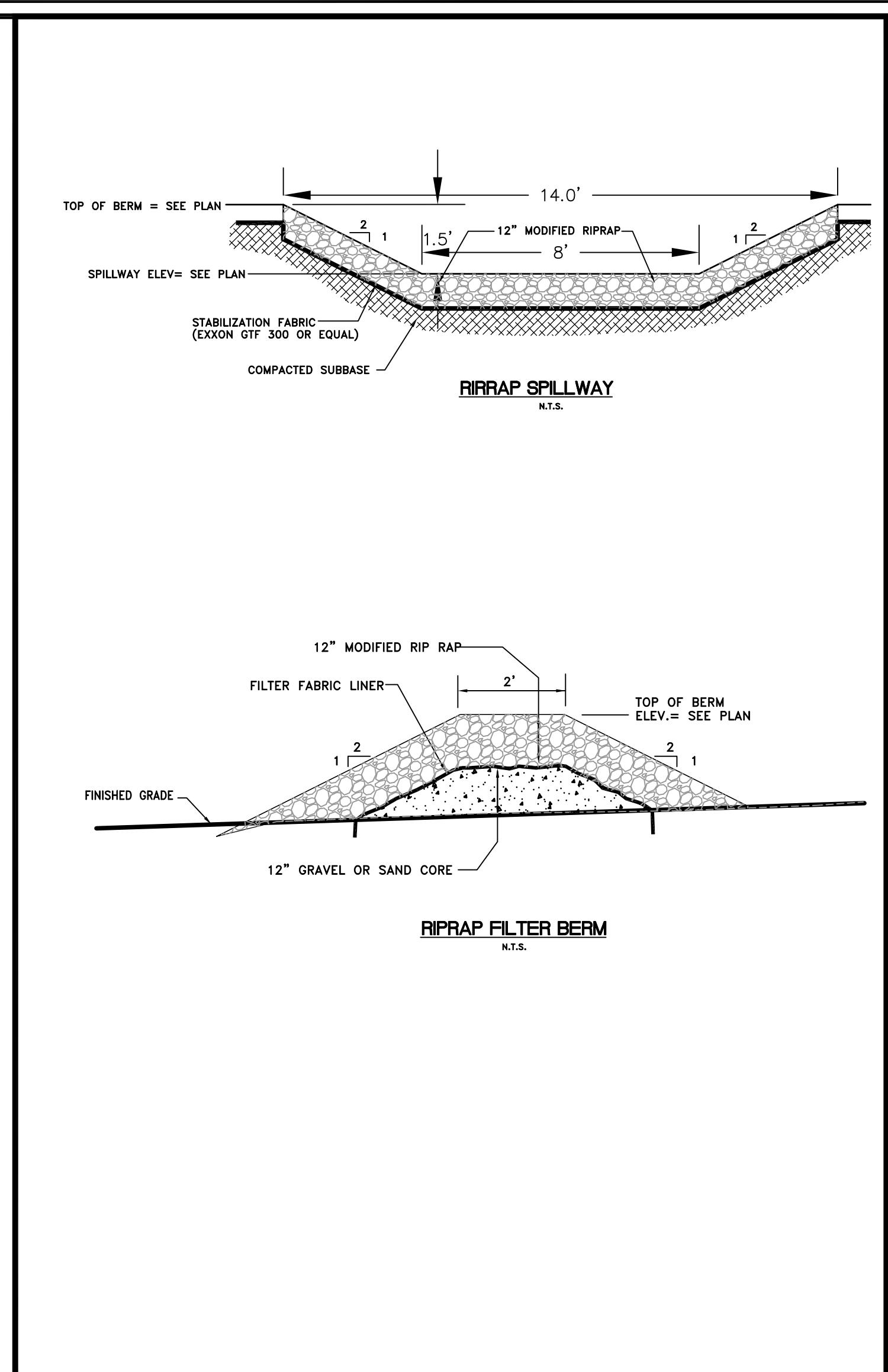
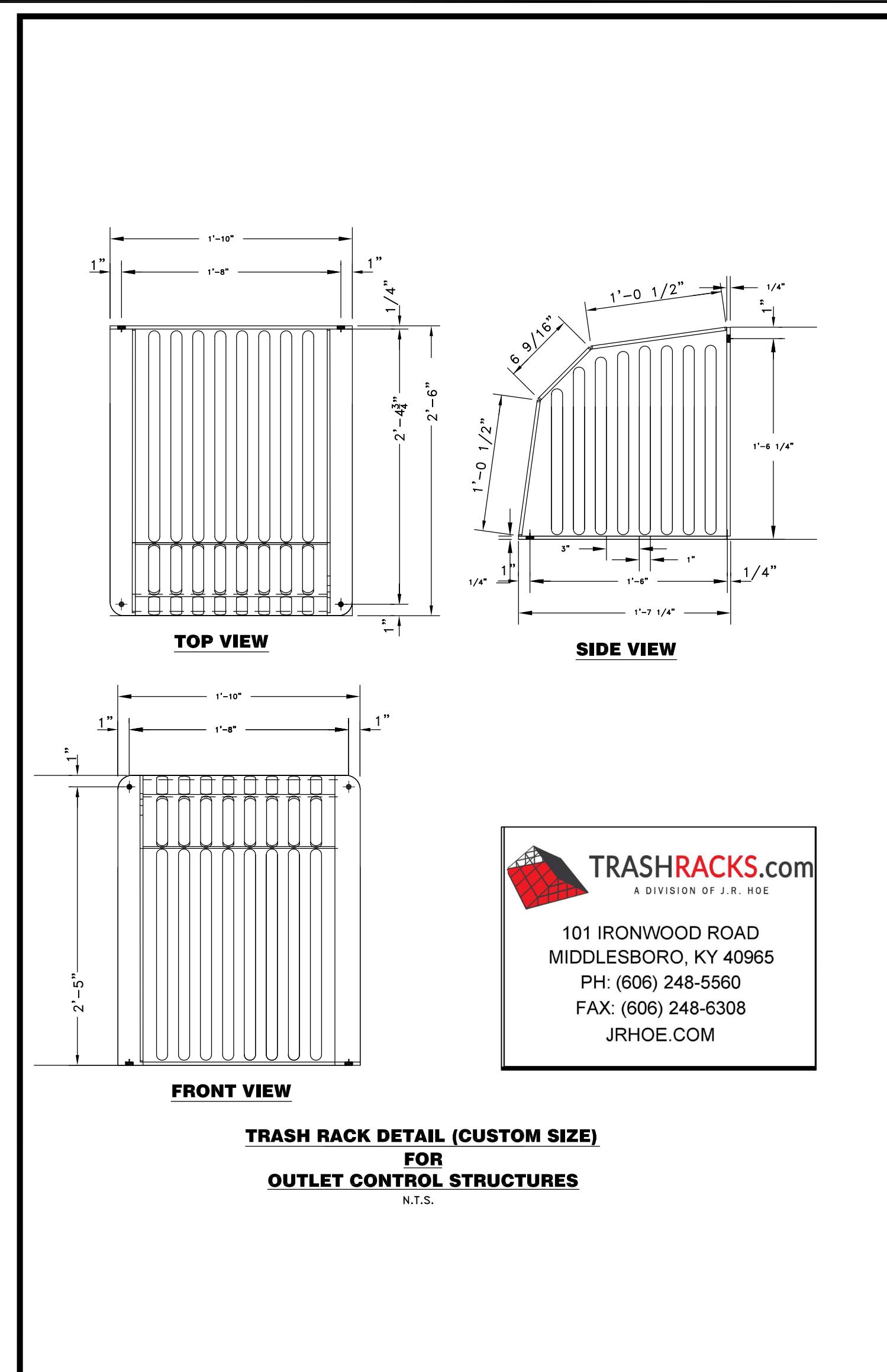
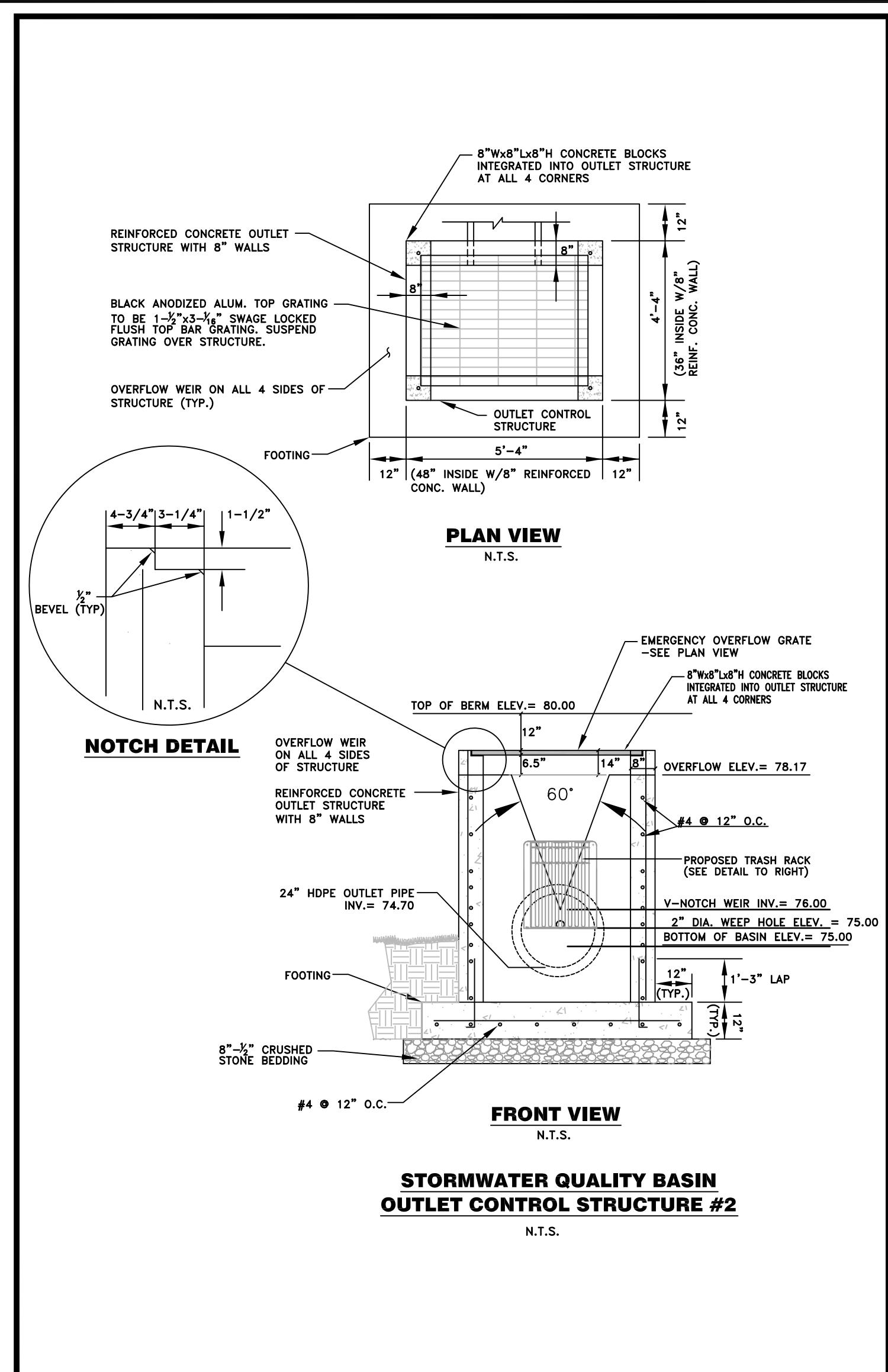
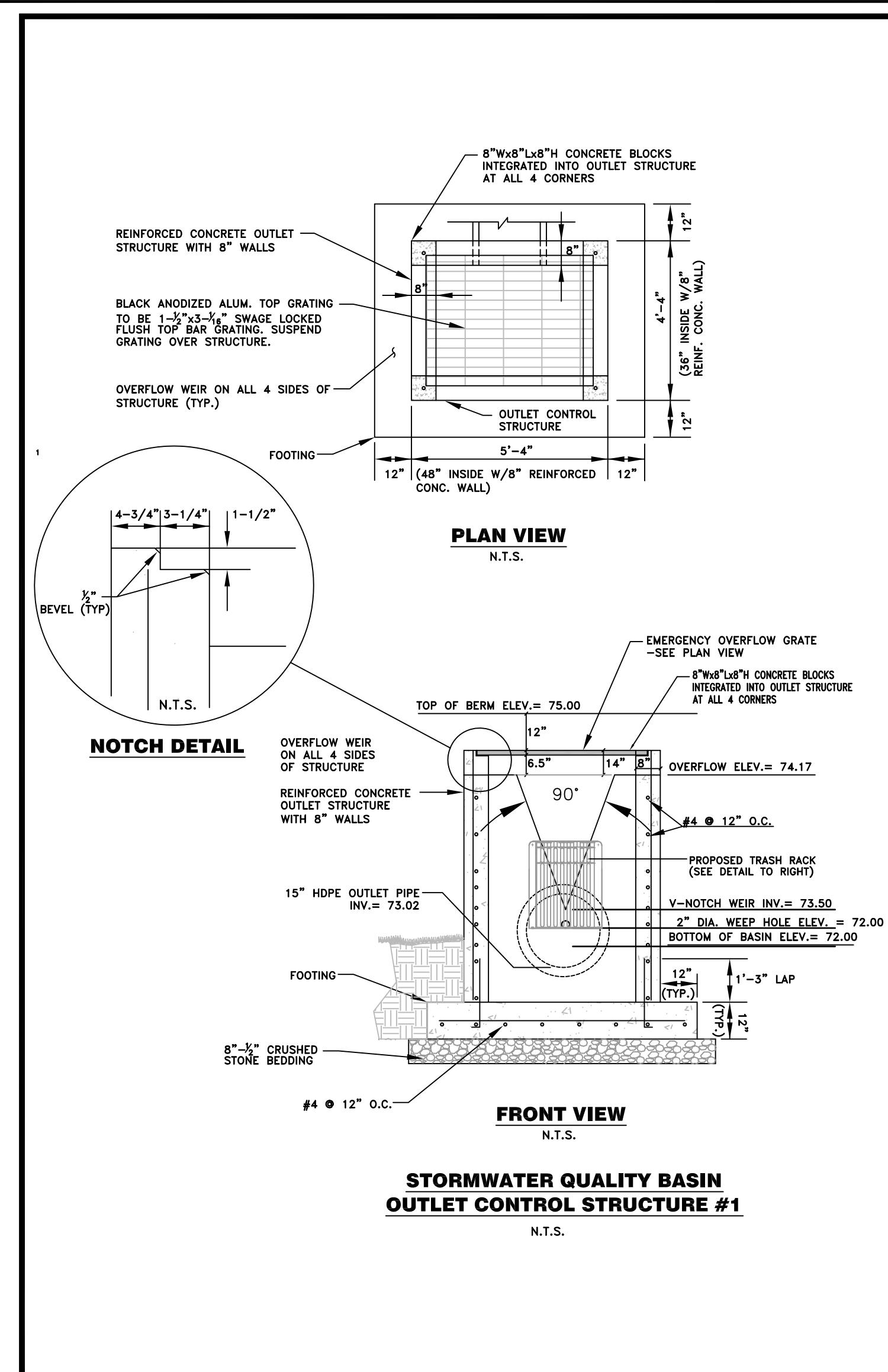
CURB APPLICATION

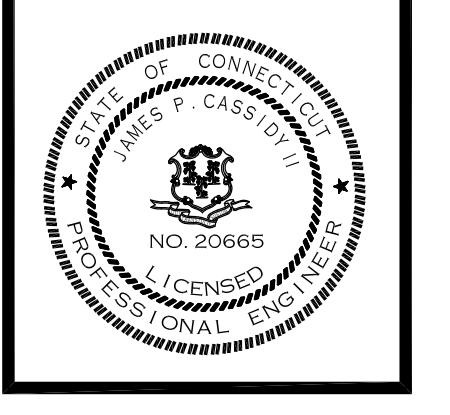
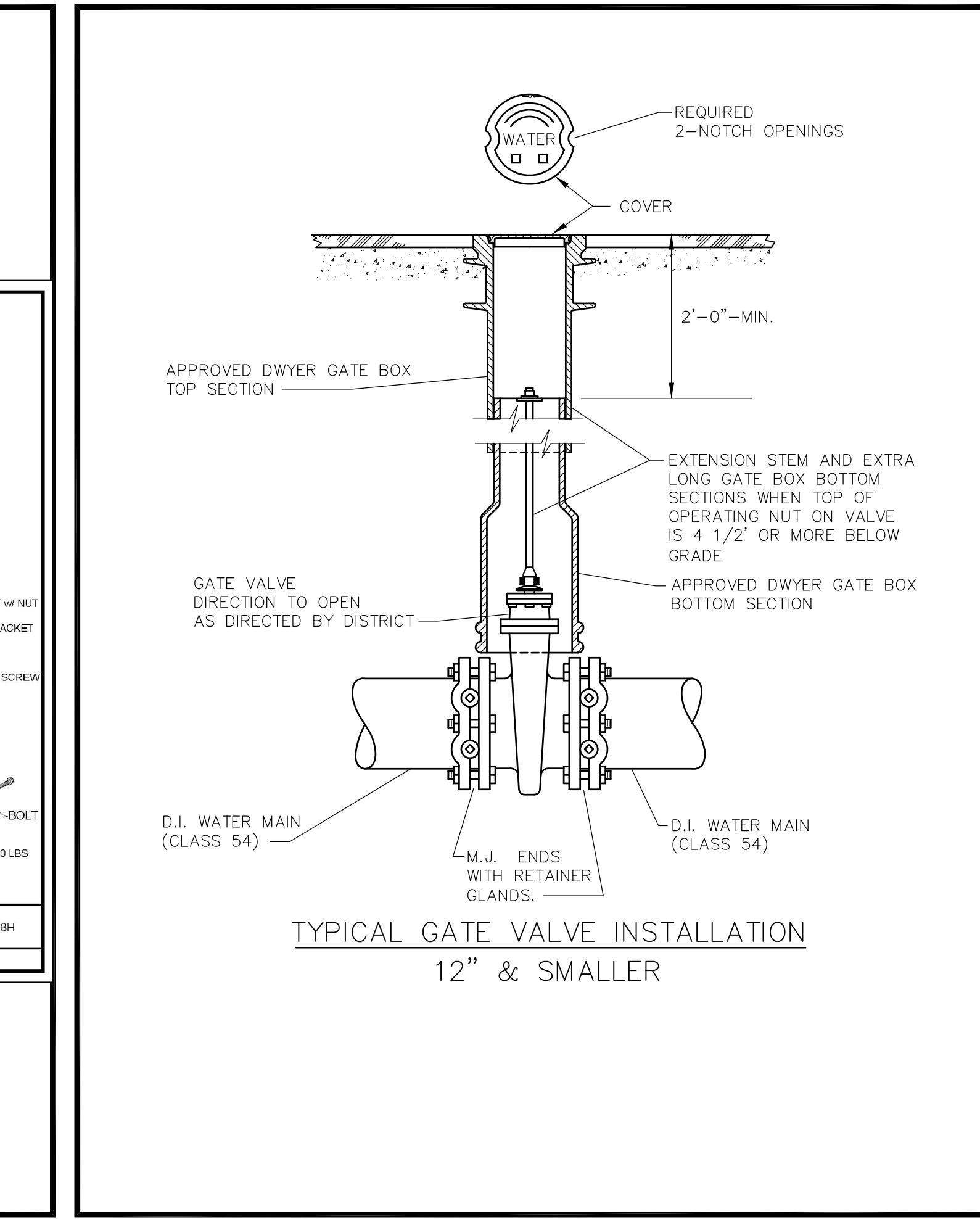
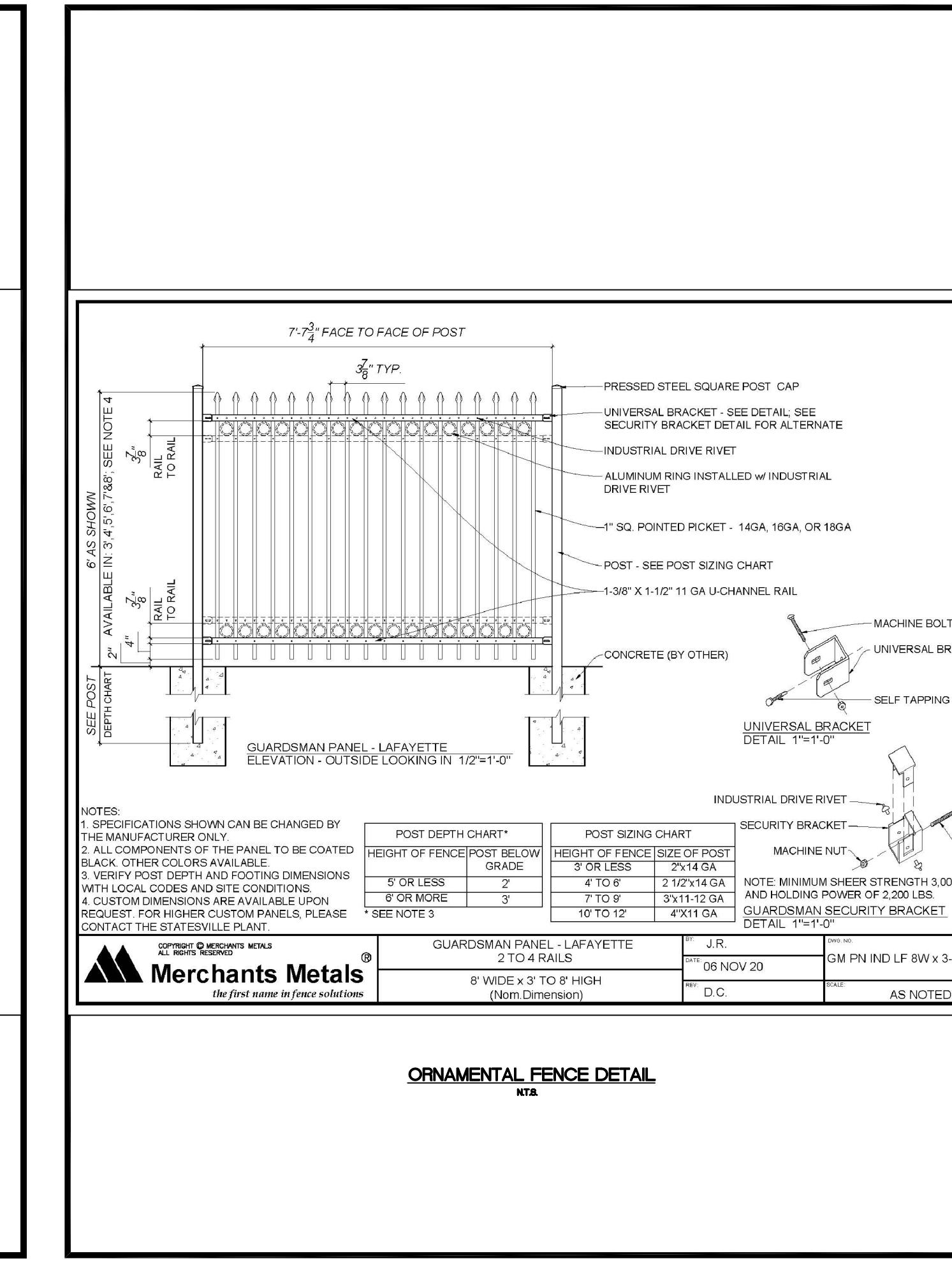
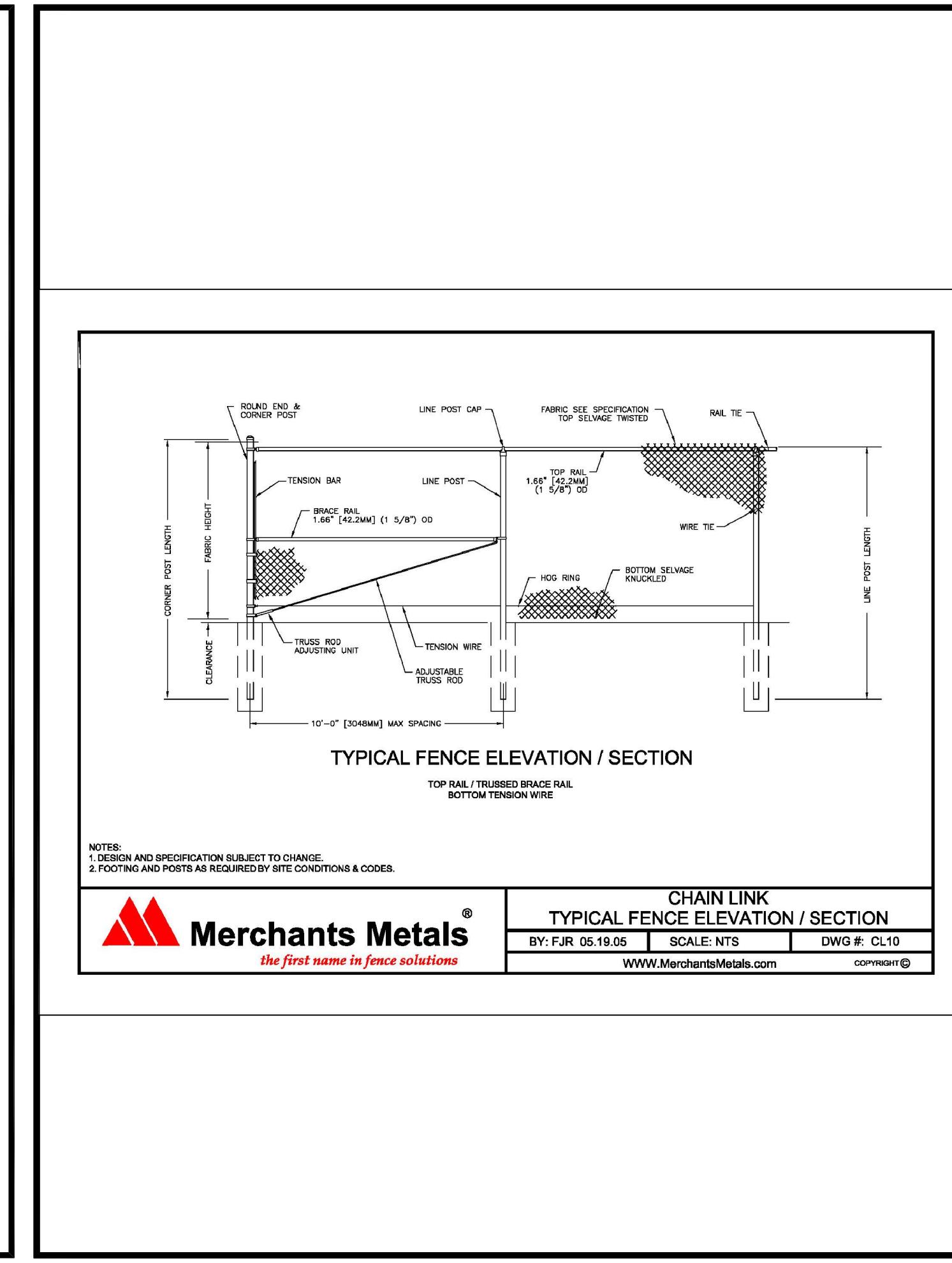
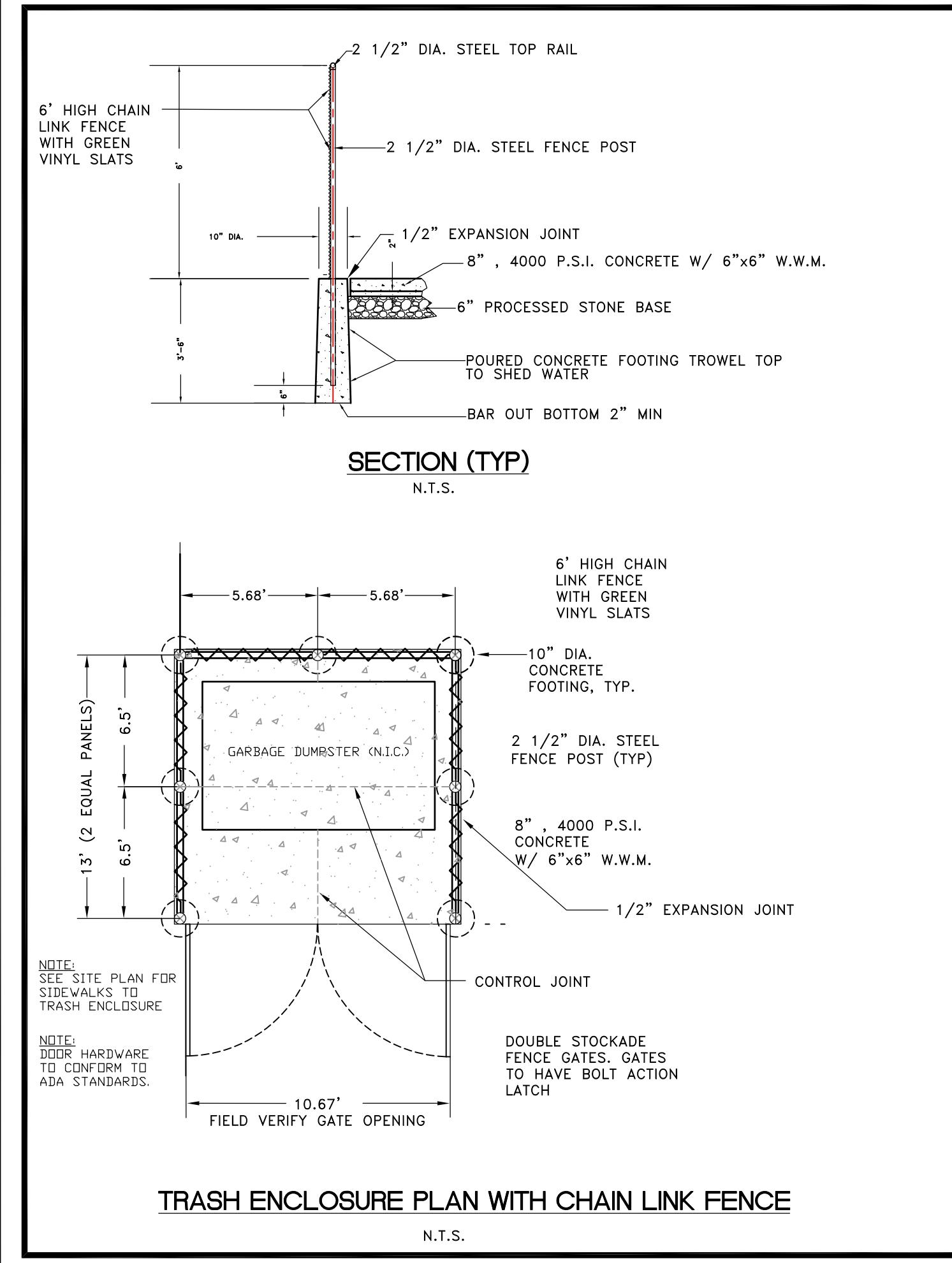
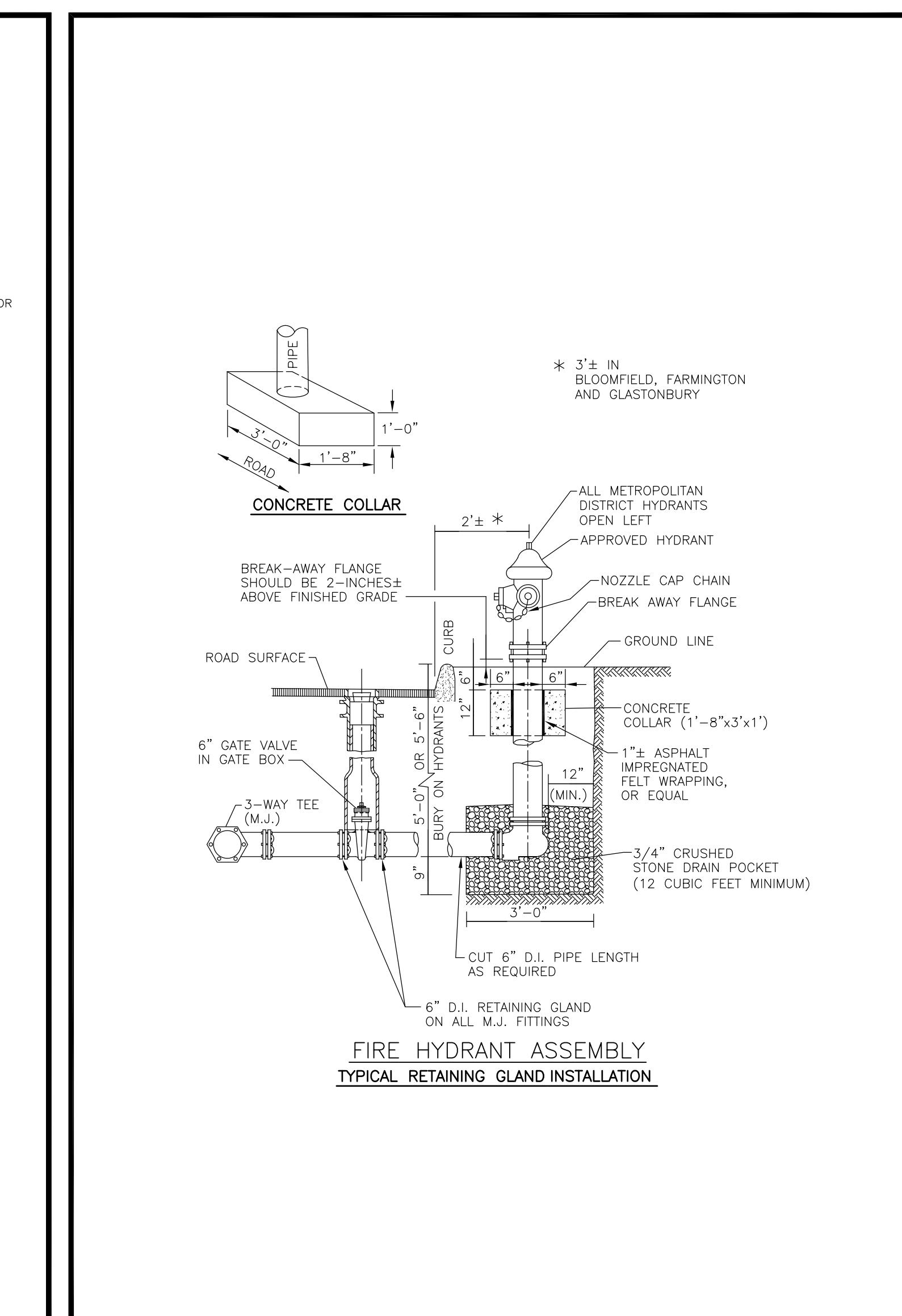
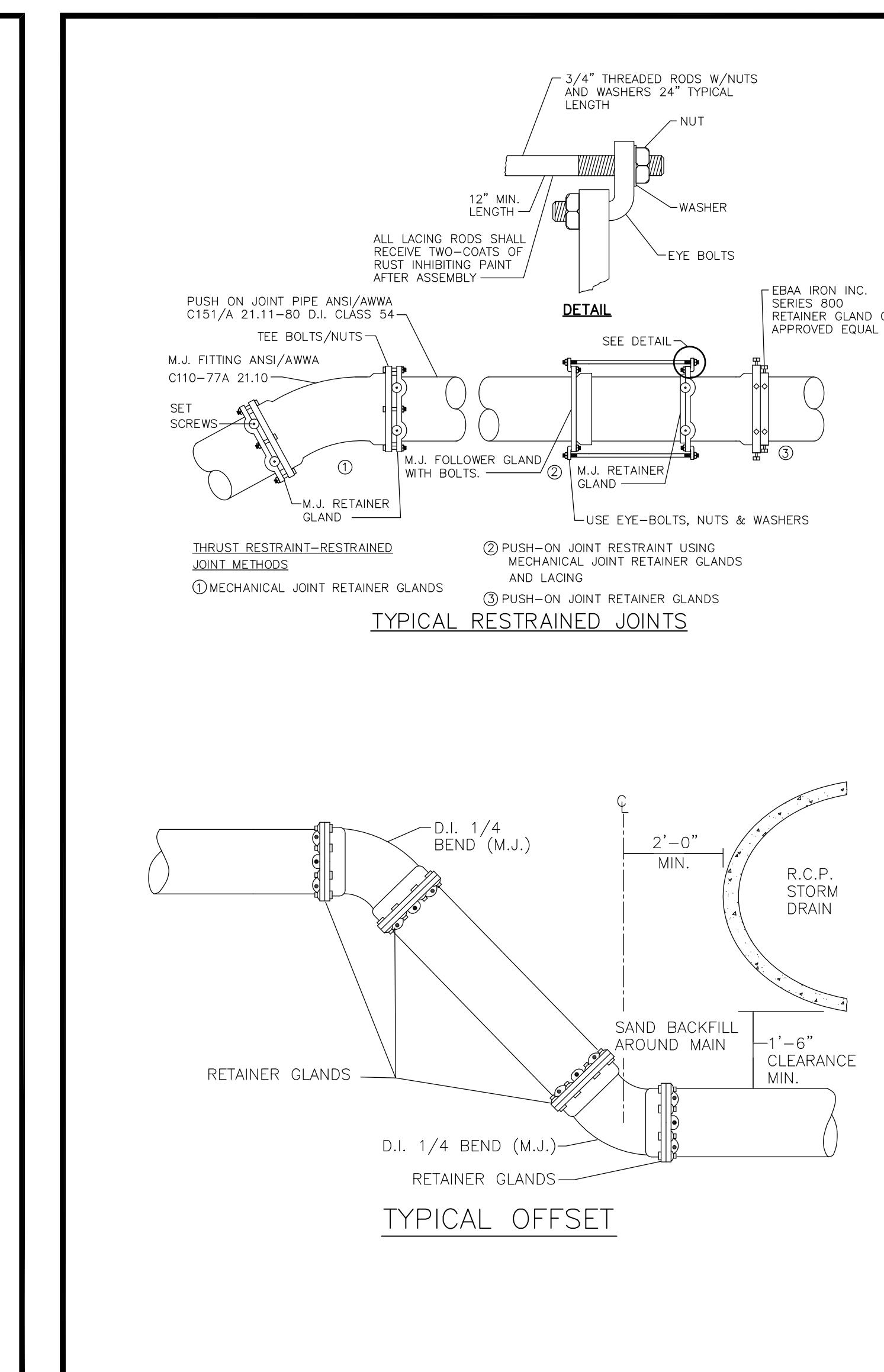
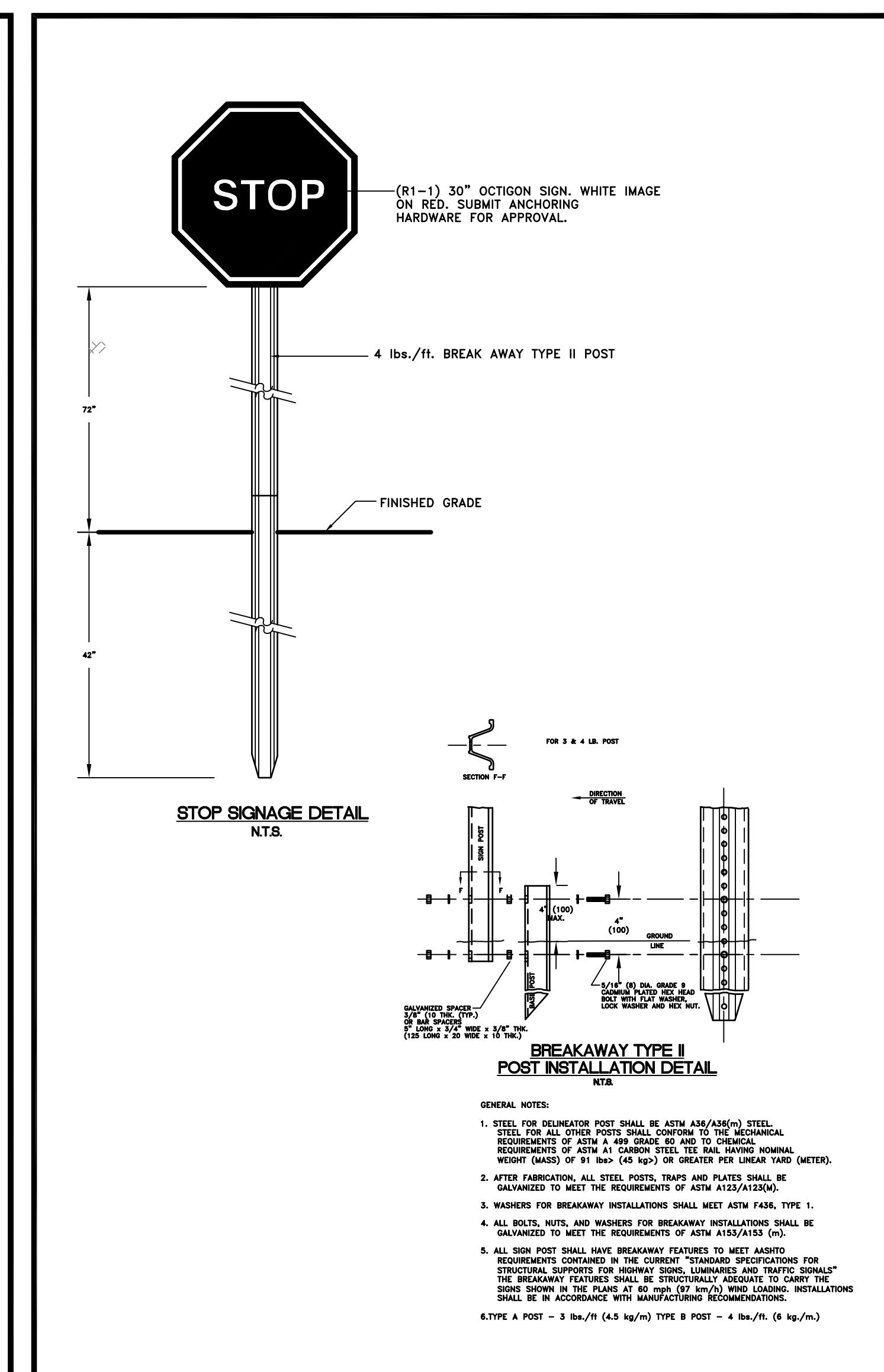
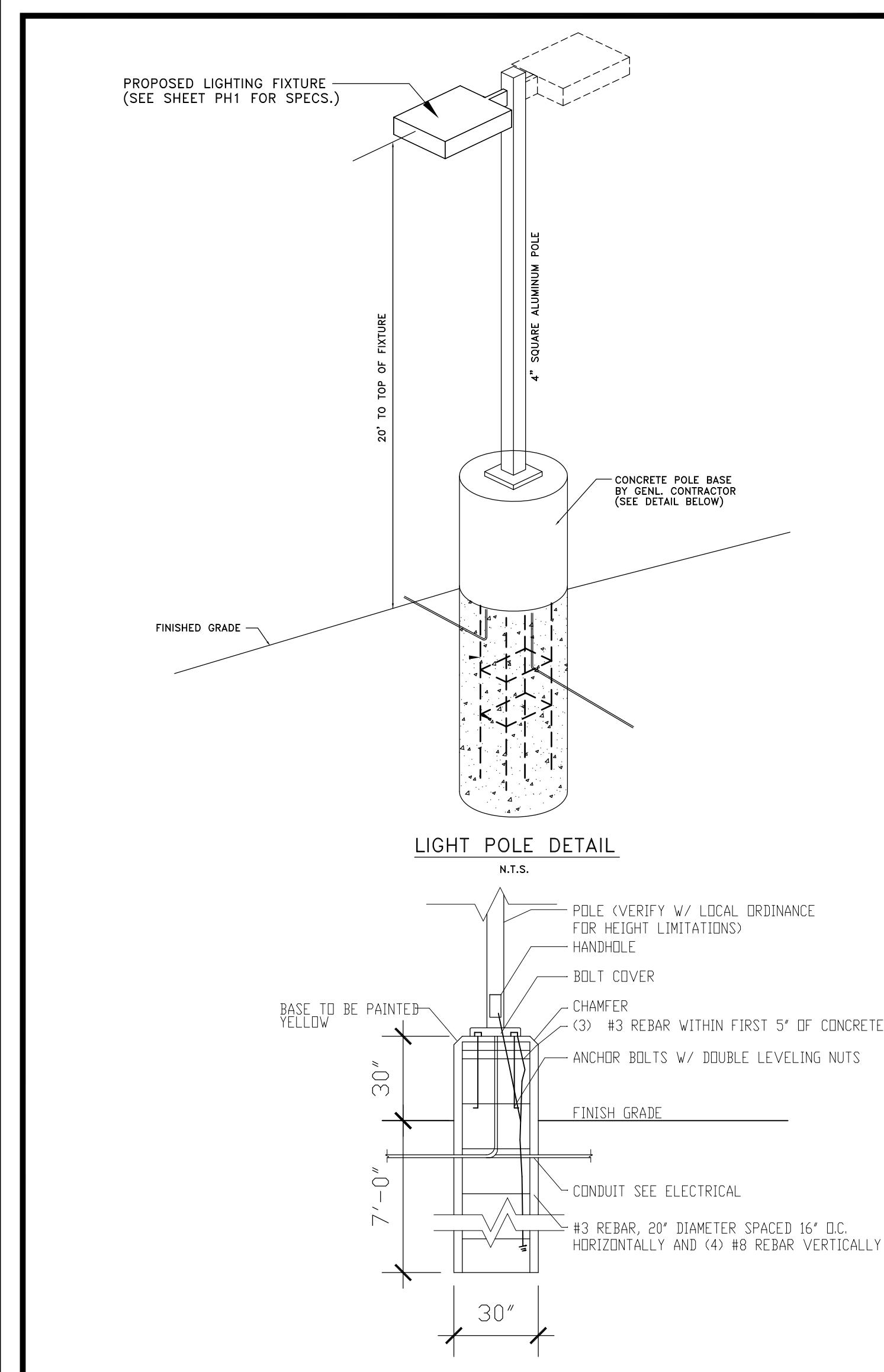
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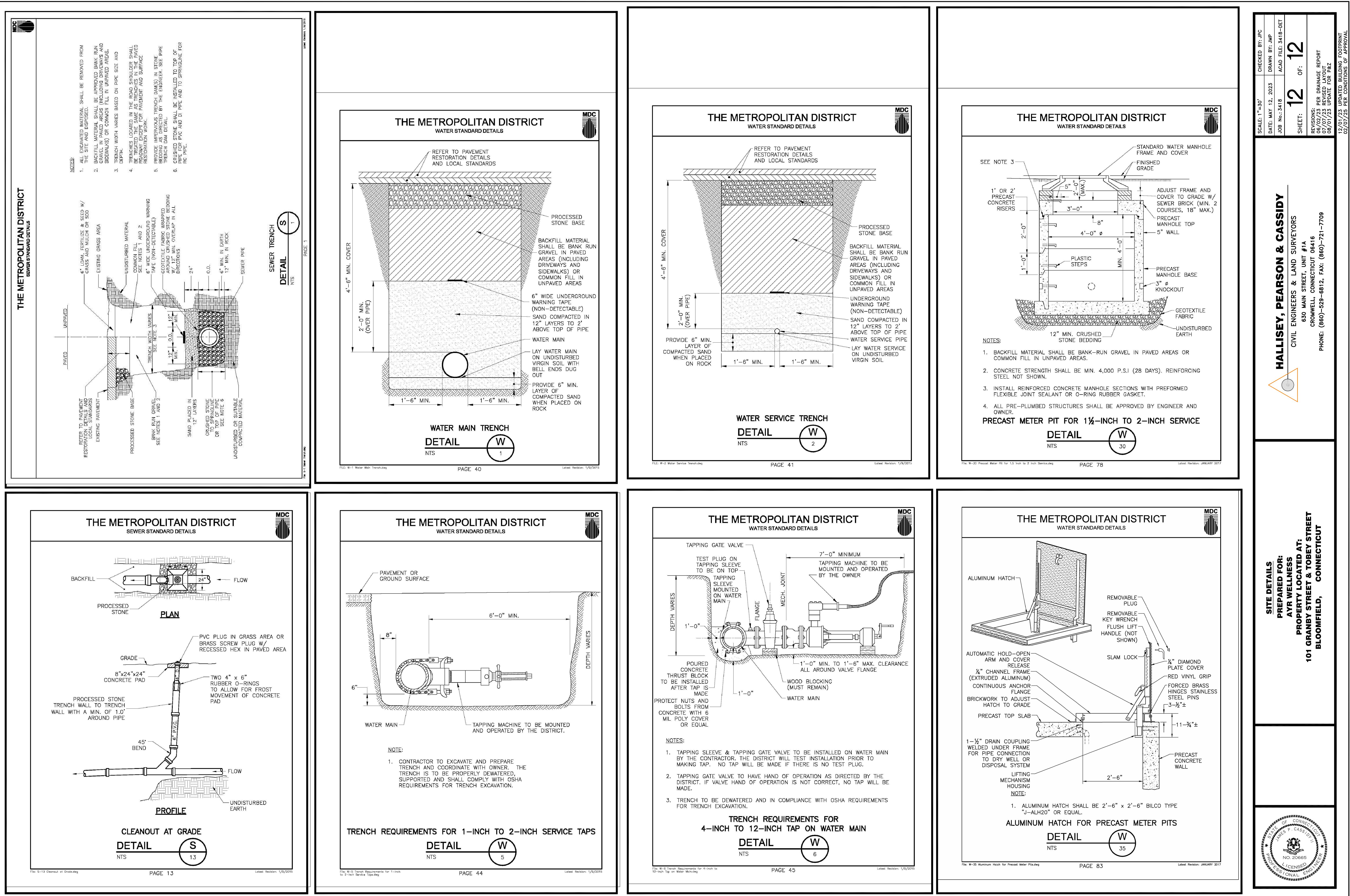
SITE DETAILS
PREPARED FOR:
AYR WELLNESS
PROPERTY LOCATED AT:
101 GRANBY STREET & TOBEY STREET
BLOOMFIELD, CONNECTICUT

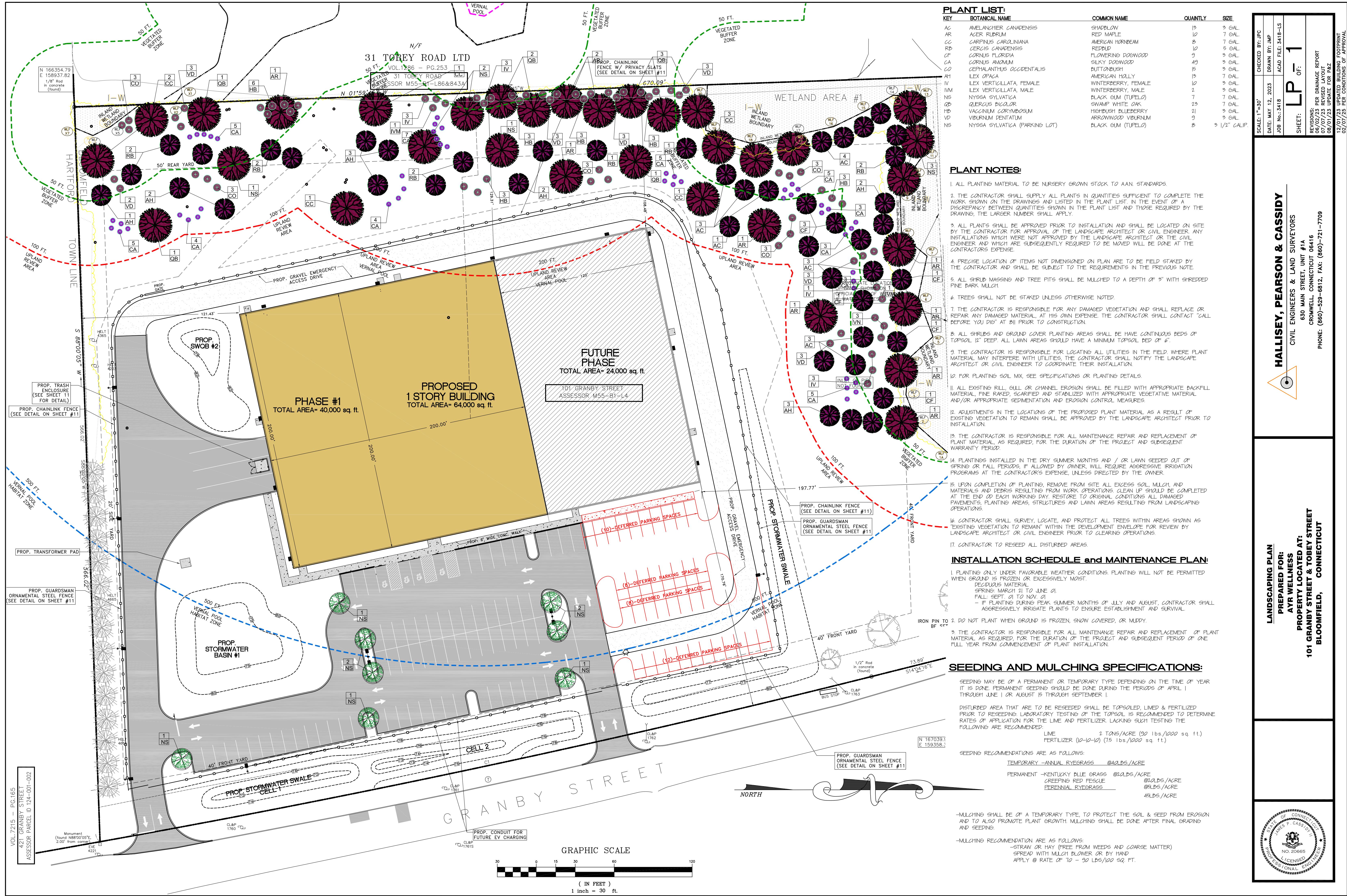


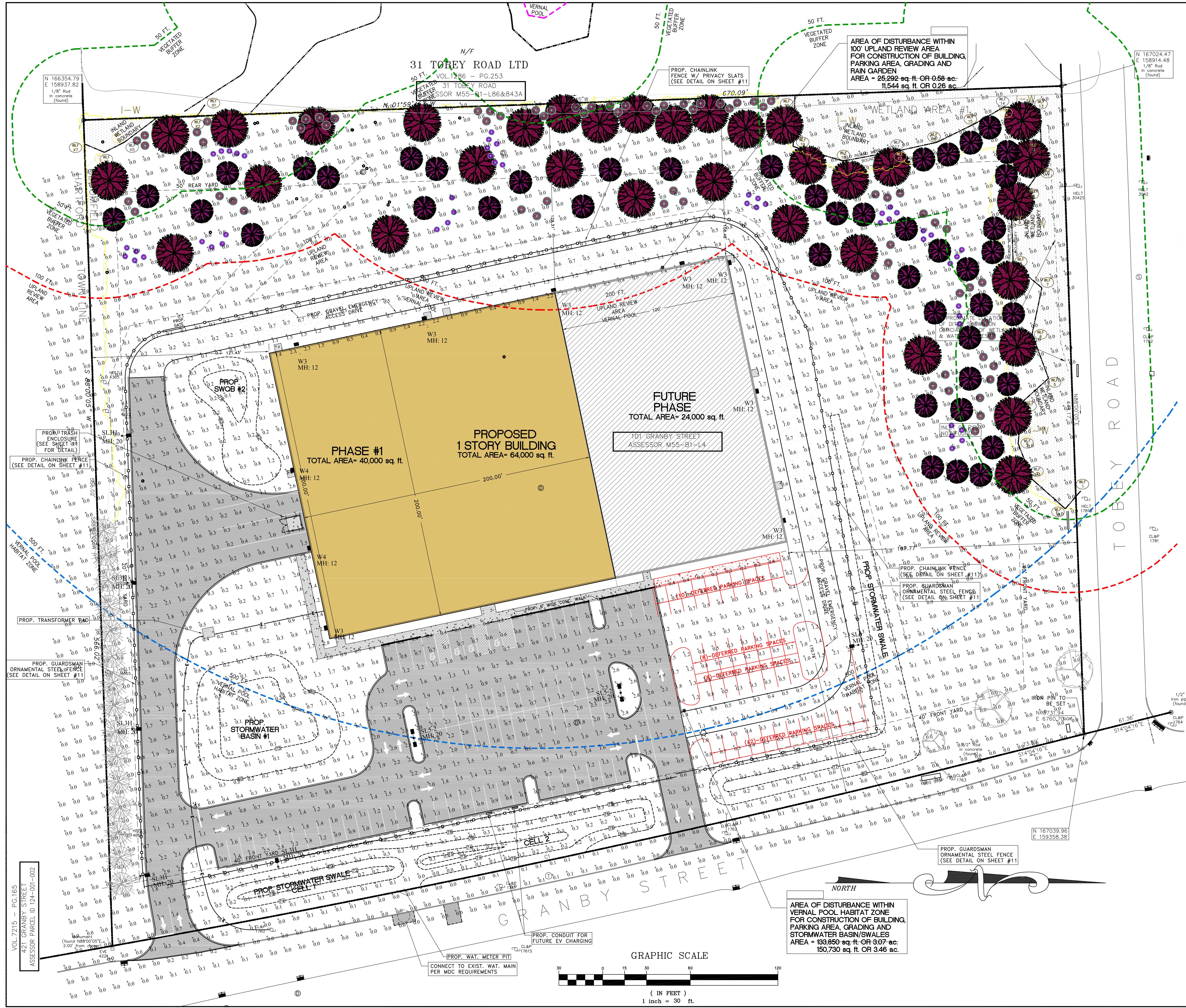
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07/01/23 REVISED LAYOUT
08/01/23 UPDATE FOR & Z
12/01/23 UPDATED BUILDING FOOTPRINT
02/07/25 PER CONDITIONS OF APPROVAL
SHEET: 9 OF 12
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROMWELL, CONNECTICUT 06116
PHONE: (860)-529-6812, FAX: (860)-721-7709







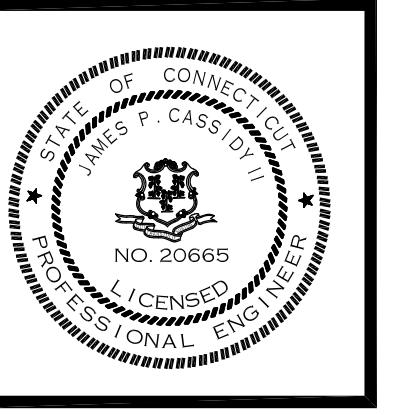


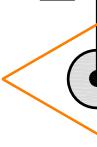


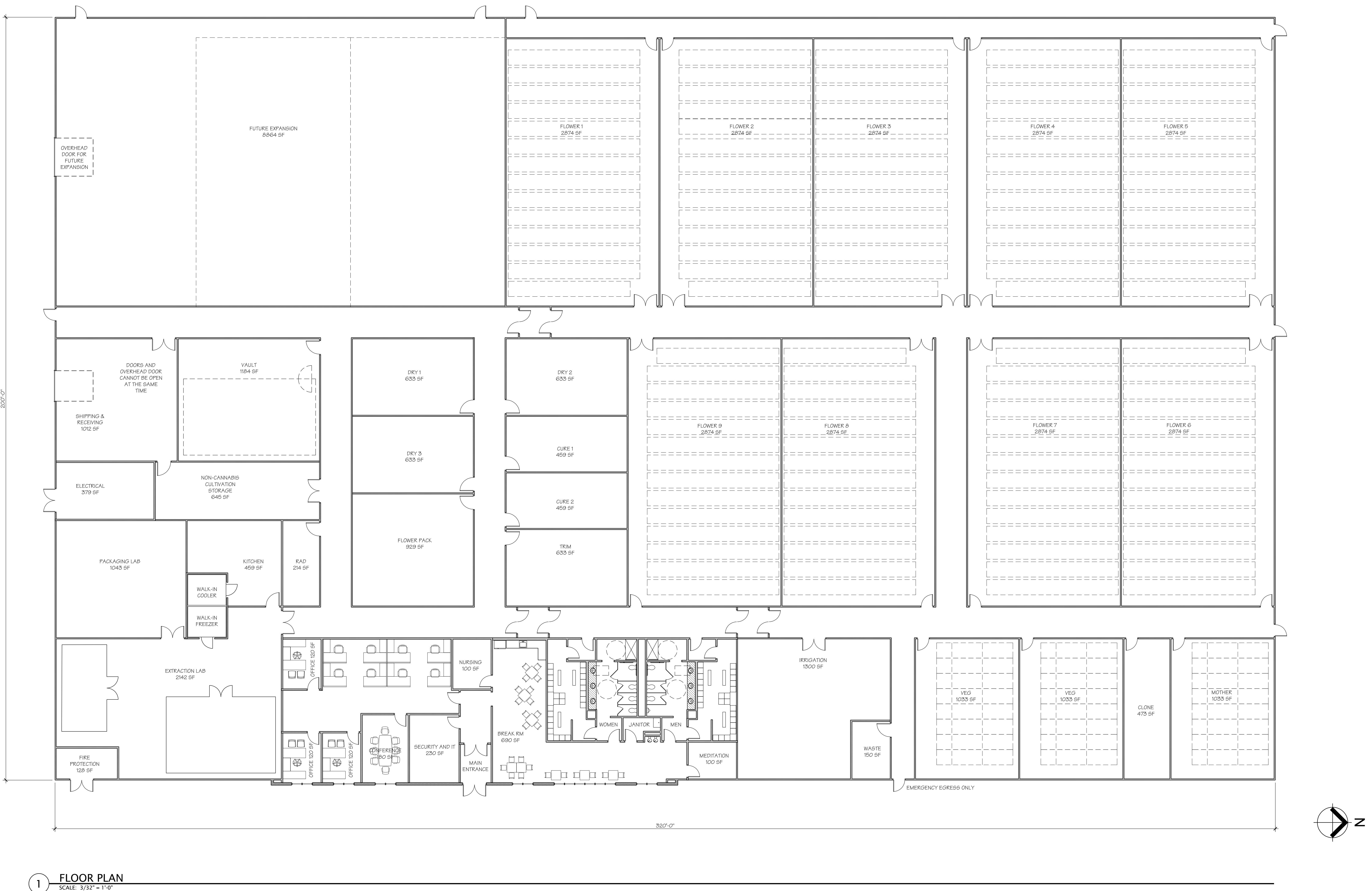
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•■■	1	SL4	Single	9976	0.900	B2-U0-G3
■■■	2	SL5	Back-Back	14602	0.900	B4-U0-G3
■■	8	W33	Single	3873	0.900	B1-U0-G1
■■	2	W44	Single	3944	0.900	B1-U0-G1

	N.A.	10	10
	14.50		
	28.00		
	4.67		

SITE LIGHTING PLAN
PREPARED FOR:
AYR WELLNESS
PROPERTY LOCATED AT:
01 GRANBY STREET & TOBEY STREET
BLOOMFIELD, CONNECTICUT



HALLISEY, PEARSON & CASSIDY		CIVIL ENGINEERS & LAND SURVEYORS
		630 MAIN STREET, UNIT #1A
		CROMWELL, CONNECTICUT 06416
		PHONE: (860)-529-6812, FAX: (860)-721-7709
		
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JOB No.: 3418	ACAD FILE: 3418-ZI-S	
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REVISIONS:		
06/02/23 PER DRAINAGE REPORT		
07/07/23 REVISED LAYOUT		
08/01/23 UPDATE FOR P&Z		
12/01/23 UPDATED BUILDING FOOTPRINT		
02/07/25 DED CONDITIONS OF APPROVAL		



AYR WELLNESS
BLOOMFIELD CULTIVATION FACILITY

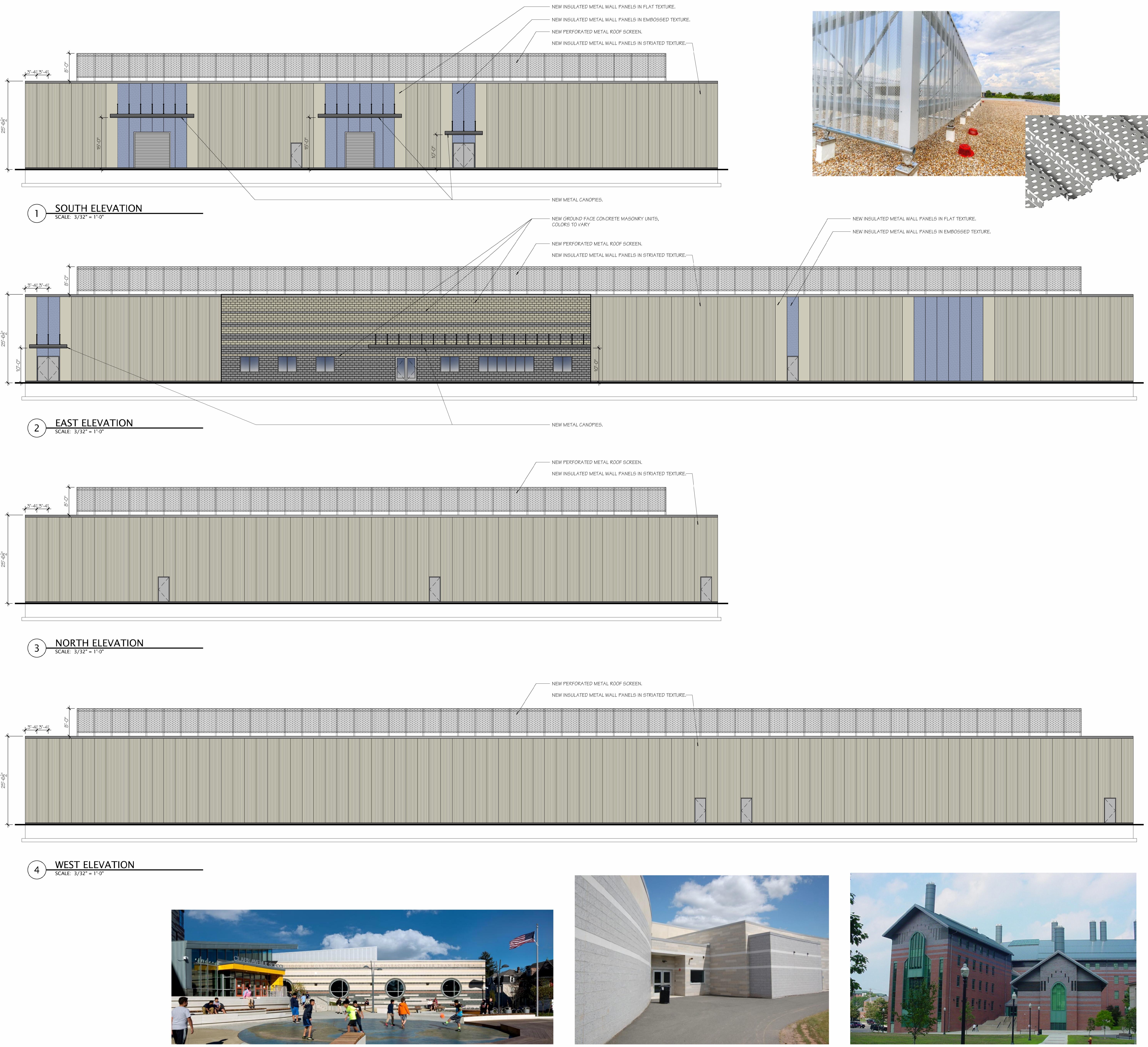
101 GRANBY STREET
BLOOMFIELD, CONNECTICUT

Revisions
No. Date Description

Date 9-28-23
Scale As Noted
Project Number 23020
Drawn By TRP

FLOOR PLAN

SD01



AYR WELLNESS BLOOMFIELD CULTIVATION FACILITY

101 GRANBY STREET
BLOOMFIELD, CONNECTICUT

Revisions		
No.	Date	Description

Date 9-28-23
Scale As Noted
Project Number 23020
Drawn By KJP

EXTERIOR
BUILDING
ELEVATIONS

SD02