

TOWN OF BLOOMFIELD

PLAN & ZONING COMMISSION

SPECIAL PERMIT APPLICATION

FOR

AJR WELLNESS

PROPOSED CULTIVATION FACILITY

#101 GRANBY STREET & TOBEY STREET

BLOOMFIELD, CONNECTICUT

SUBMIT DATE: AUGUST 1, 2023

OWNER

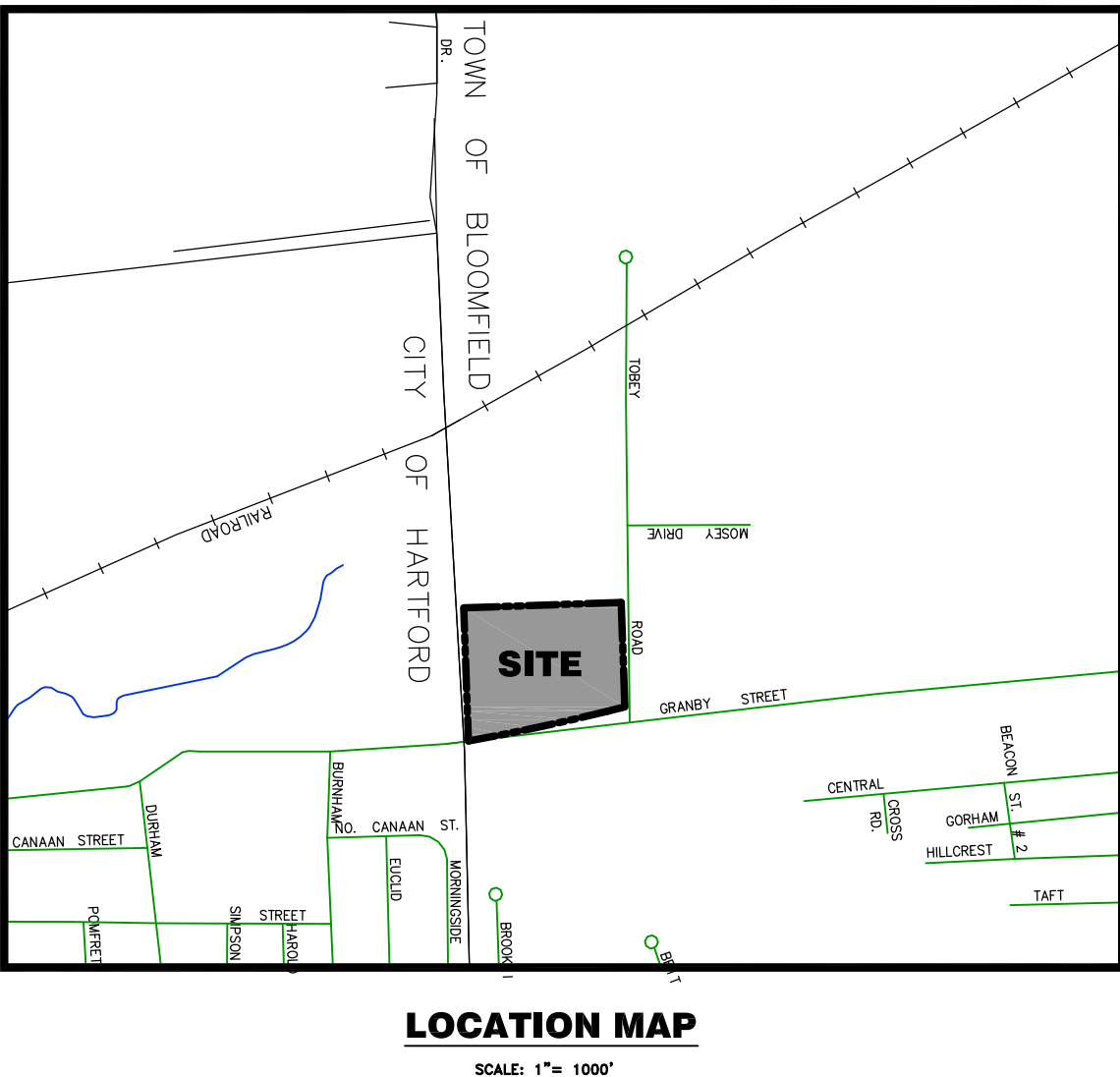
GRANBY TOBEY LLC
16 TOBEY ROAD
BLOOMFIELD, CT 06002

APPLICANT & DEVELOPER

AJR WELLNESS
2601 SOUTH BAYSHORE DRIVE, SUITE 900
MIAMI, FL 33133
PHONE NUMBER: 1-431-275-8334

SHEET INDEX

SHEET #	DRAWING TITLE
1	TOPOGRAPHIC SURVEY
2	ZONING IMPROVEMENT LOCATION SURVEY/SITE LAYOUT PLAN
3	SITE GRADING AND DRAINAGE PLAN
4	SITE UTILITIES PLAN
5	SITE EROSION & SEDIMENT CONTROL PLAN
6	GENERAL SITE NOTES
7	EROSION & SEDIMENT CONTROL NOTES
8-12	SITE DETAILS
LP-1	LANDSCAPING PLAN
SD01	FLOOR PLAN
SD02	EXTERIOR BUILDING ELEVATIONS



October 9, 2023

AJR Wellness, Inc.
2601 South Bayshore Drive
Suite 900
Miami, FL 33133

Re: 101 Granby Street – Canabio Cultivation Facility

Dear Mr. Abboud:

Please be advised that, at a meeting held on September 28, 2023 the Bloomfield Town Plan and Zoning voted to approve the Request by AJR Wellness LLC for a Special Permit to construct a cannabis cultivation facility with associated parking at 101 Granby Street in an I-1 Zone, owner Granby Tobey, LLC. This approval is subject to concurrence with the referenced plans, as may be required to be modified, the representations made on the record, and the following conditions:

Referenced Plans:
PROPOSED CANNABIS CULTIVATION FACILITY – 101 GRANBY STREET & TOBEY STREET, BLOOMFIELD, CONNECTICUT prepared by Hallisey, Pearson & Cassidy, for AJR Wellness, dated August 1, 2023.

Required Conditions of Approval:
Section 7.2.1.9 of the Zoning Regulations. But conditions that must be included with the approval of a Cannabis Facility. They are:

- The applicant must obtain the appropriate license issued by the State of Connecticut Department of Consumer Protection for any other required State agency.
- The approval will become final upon the receipt by the Director of Planning of a copy of the Department of Consumer Protection issued license.
- The conditional approval shall expire if the applicant fails to provide the Director of Planning with a copy of the Department of Consumer Protection issued license within six months of the date of the TPC's conditional approval.
- A six-month extension of such conditional approval shall be granted to the applicant upon written notification to the Director of Planning that an application for a Department of Consumer Protection license has been filed, indicating the expected decision date of the license.
- No entity shall operate without a valid, current license.
- The applicant shall provide a copy of the appropriate license to the Director of Planning, along with any subsequent renewed licenses.

Conditions to be met prior to the issuance of the license:

- The conditions of this approval shall be binding on the applicant, land owners, and their successors and assigns. A copy of this resolution shall be placed on the final plans submitted for signing.
- In accordance with the Zoning Regulations, the parking stalls should have a depth of 20'. The depth may be reduced to 18' on outside parking spaces where a 2' overhang is available. The interior parking stalls shown on the plans should be reduced to a depth of 20'.

101 Granby Street
Come Bloom with Us
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3. Dimensions for the site map shown within the proposed storm water basins and swales should be shown on the plans.

4. Roof leaders and discharge locations should be indicated on the plans.

5. If available, the owners should be shown at the connections to the existing utility within Granby Street.

6. The proposed curbing and proposed locations should be called out on the plans. Both concrete and bituminous curbing are shown in the legend.

7. The site plan should be adequately detailed for construction review. Additional information should be provided for the emergency access drive such as the proposed width, radius of curves, and proposed grading.

8. The parking table incorrectly shows 6 loading spaces, when only three are proposed. Those numbers should be corrected.

9. The building proposed for the southern border with Hartford should be labeled.

Conditions to be met prior to the issuance of the license:

- Three sets of paper plans with any required changes shall be submitted for the Commission Secretary's signature. The submitted plans shall contain any approval letters and conditions from the Island Wetlands and Watersources Commission and the Town Plan and Zoning Commission.
- A copy of the Special Permit shall be filed on the land records by the owner of the property.
- Forwarder's full owner representation sufficient to establish property lines near any proposed construction activity must be in place prior to commencement of construction.
- The condition of the existing private (i.e., owned by the developer) 30" RCP drainage line on site should be evaluated by the developer prior to construction.

Conditions which must be met prior to the issuance of a Certificate of Compliance:

- Complete as-built plans shall be submitted prior to the issuance of any certificate of zoning compliance. The as-built plans shall also contain a certification by a Professional Engineer that they have inspected the site improvements and that they have been installed in accordance with the approved plans. Any deviations or omissions must be noted.
- Any Certificate of Compliance or other final approval shall be issued until the Zoning Enforcement Officer has signed off on the final work. When minor site work cannot be completed because of weather or other pertinent reason, a conditional approval may be issued for a period not to exceed 180 days, providing satisfactory survey shall be posted with the Town of Bloomfield in an amount sufficient to complete the site work and with warranty acceptable to the Planning Director.

General Conditions:

- The applicant and the applicant's design professional(s) are fully responsible for the accuracy, completeness, completeness, and specific compliance with any and all applicable regulations.
- All pertinent construction shall conform to all applicable Town of Bloomfield standard specifications and details.
- This approval is for the specific use and structures identified in the application. Any change in the nature of the use or the structures will require new approvals from the Bloomfield Town Plan and Zoning Commission.
- This approval is also subject to conditions of approval from the Island Wetlands and Watersources Agency which are on file separately.
- This project shall be constructed and maintained in accordance with the referenced plans and representations made for the record. Substantial changes to the plans will require further Commission review and approval. Minor modifications to the approved plans may be allowed in accordance with the regulations, subject to staff review and approval.

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Come Bloom with Us
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22. All work associated with the construction of facilities as approved must be completed by March 25, 2024 or the approval shall be rendered null and void, unless an extension is granted by the Commission.

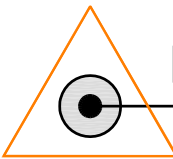
23. By acceptance of this permit and conditions, the applicant and owner acknowledge the right of Town staff to periodically enter upon the subject property for the purpose of determining compliance with the terms of this approval.

If you have any questions please call me at 860-769-3572.

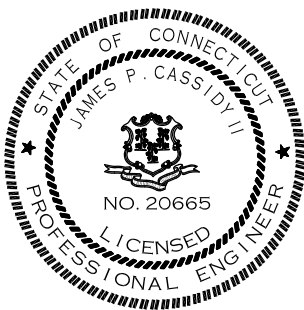
Very truly yours,

Justin Lefkowitz, AICP, CZD
Director of Planning and Land Use
C: The Assessor

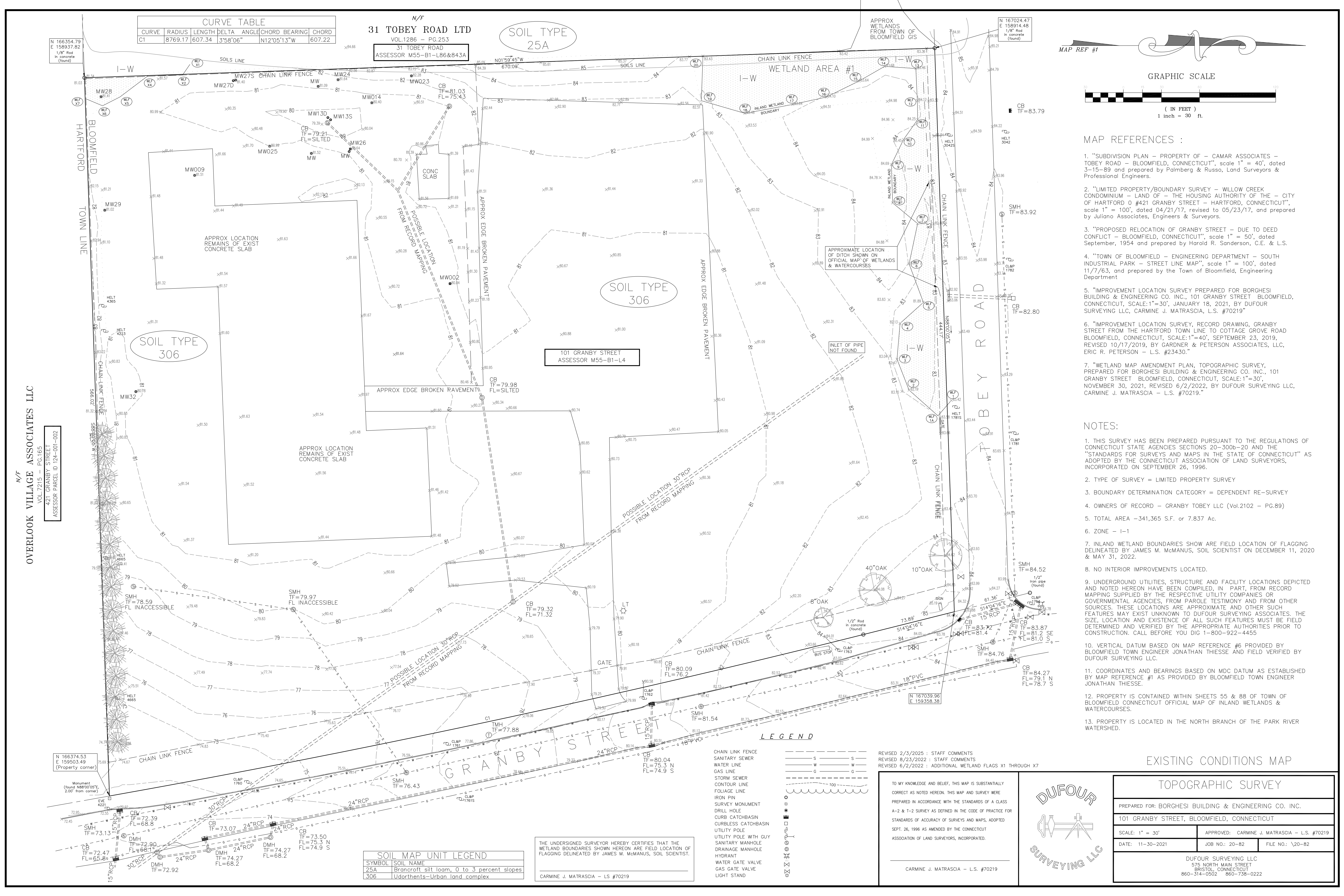
101 Granby Street
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Page 3 of 3



HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROMWELL, CONNECTICUT 06416
PHONE: (860)–529–6812, FAX: (860)–721–7709



5	2/7/25	PER CONDITIONS OF APPROVAL	JMP	
4	12/1/23	UPDATED BUILDING FOOTPRINT	JMP	
3	8/1/23	UPDATE FOR P&Z	JMP	
2	7/7/23	REVISED LAYOUT	JMP	
1	6/2/23	PER DRAINAGE REPORT	JMP	
NO.	DATE	DESCRIPTION	BY	



CURVE TABLE					
CURVE	RADIUS	LENGTH DELTA	ANGLE CHORD BEARING	CHORD	
C1	8769.17	607.34	3°58'06"	N12°05'13"W	607.22

31 TOBEY ROAD LTD
VOL.1286 - PG.253
31 TOBEY ROAD
ASSESSOR M55-B1-L86&843A

SOIL TYPE
25A

SOIL TYPE
306

101 GRANBY STREET
ASSESSOR M55-B1-L4

LEGEND

CHAIN LINK FENCE
SANITARY SEWER
WATER LINE
GAS LINE
STORM SEWER
CONTOUR LINE
FOULAGE LINE
IRON PIN
SURVEY MONUMENT
DRILL HOLE
CURB CATCHBASIN
CURBLESS CATCHBASIN
UTILITY POLE
UTILITY POLE WITH GUY
SANITARY MANHOLE
DRAINAGE MANHOLE
HYDRANT
WATER GATE VALVE
GAS GATE VALVE
LIGHT STAND

REVISED 2/3/2025 : STAFF COMMENTS
REVISED 8/23/2022 : STAFF COMMENTS
REVISED 6/2/2022 : ADDITIONAL WETLAND FLAGS X1 THROUGH X7

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY
CORRECT AS NOTED HEREON. THIS MAP AND SURVEY WERE
PREPARED IN ACCORDANCE WITH THE STANDARDS OF A CLASS
A-2 & T-2 SURVEY AS DEFINED IN THE CODE OF PRACTICE FOR
STANDARDS OF ACCURACY OF SURVEYS AND MAPS, ADOPTED
SEPT. 26, 1996 AS AMENDED BY THE CONNECTICUT
ASSOCIATION OF LAND SURVEYORS, INCORPORATED.

CARMINE J. MATRASCHIA - L.S. #70219

DUFOUR
SURVEYING LLC

TOPOGRAPHIC SURVEY

PREPARED FOR: BORGHESI BUILDING & ENGINEERING CO. INC.

101 GRANBY STREET, BLOOMFIELD, CONNECTICUT

SCALE: 1" = 30'
DATE: 11-30-2021
APPROVED: CARMINE J. MATRASCHIA - L.S. #70219
JOB NO.: 20-82
FILE NO.: \20-82

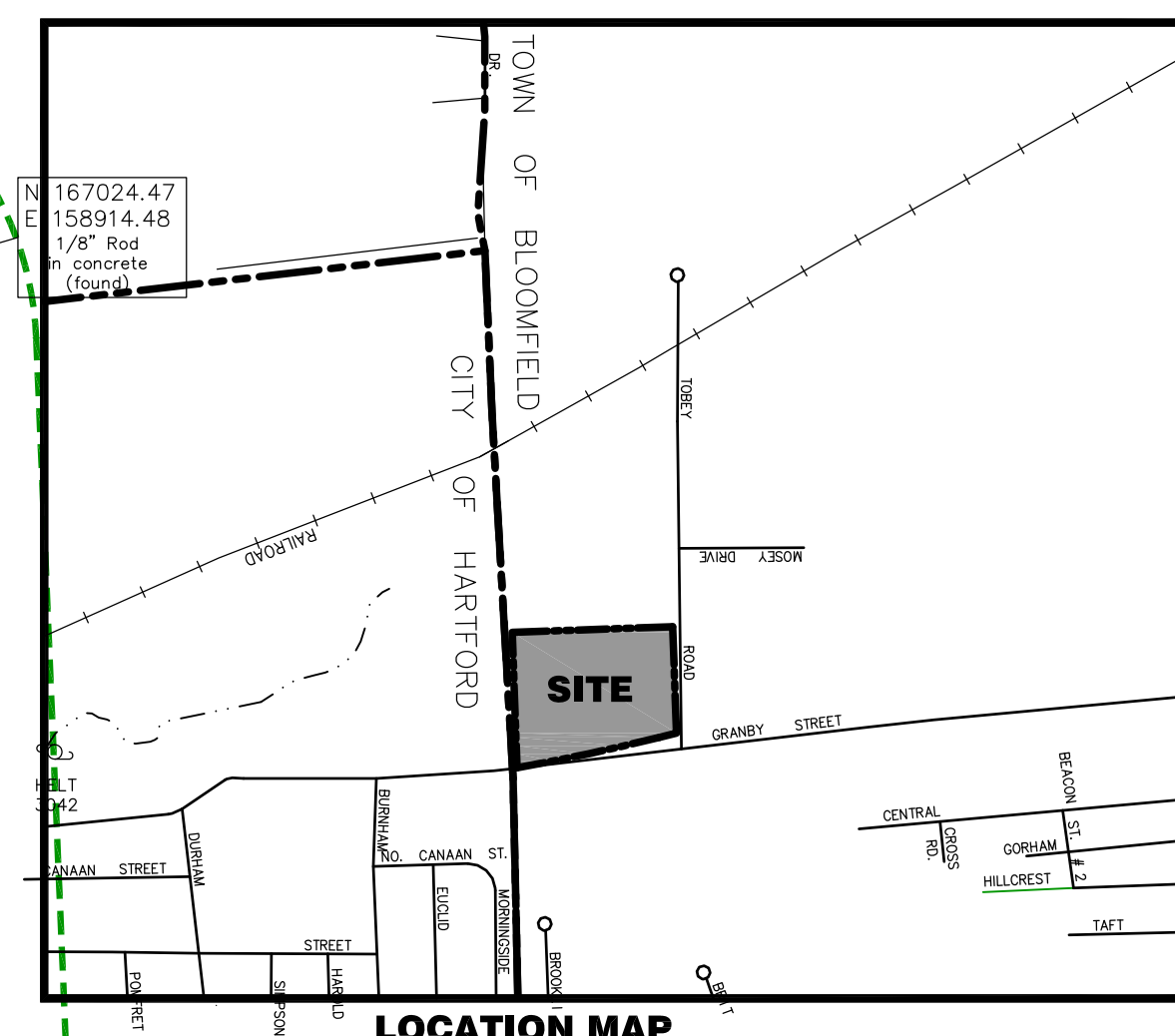
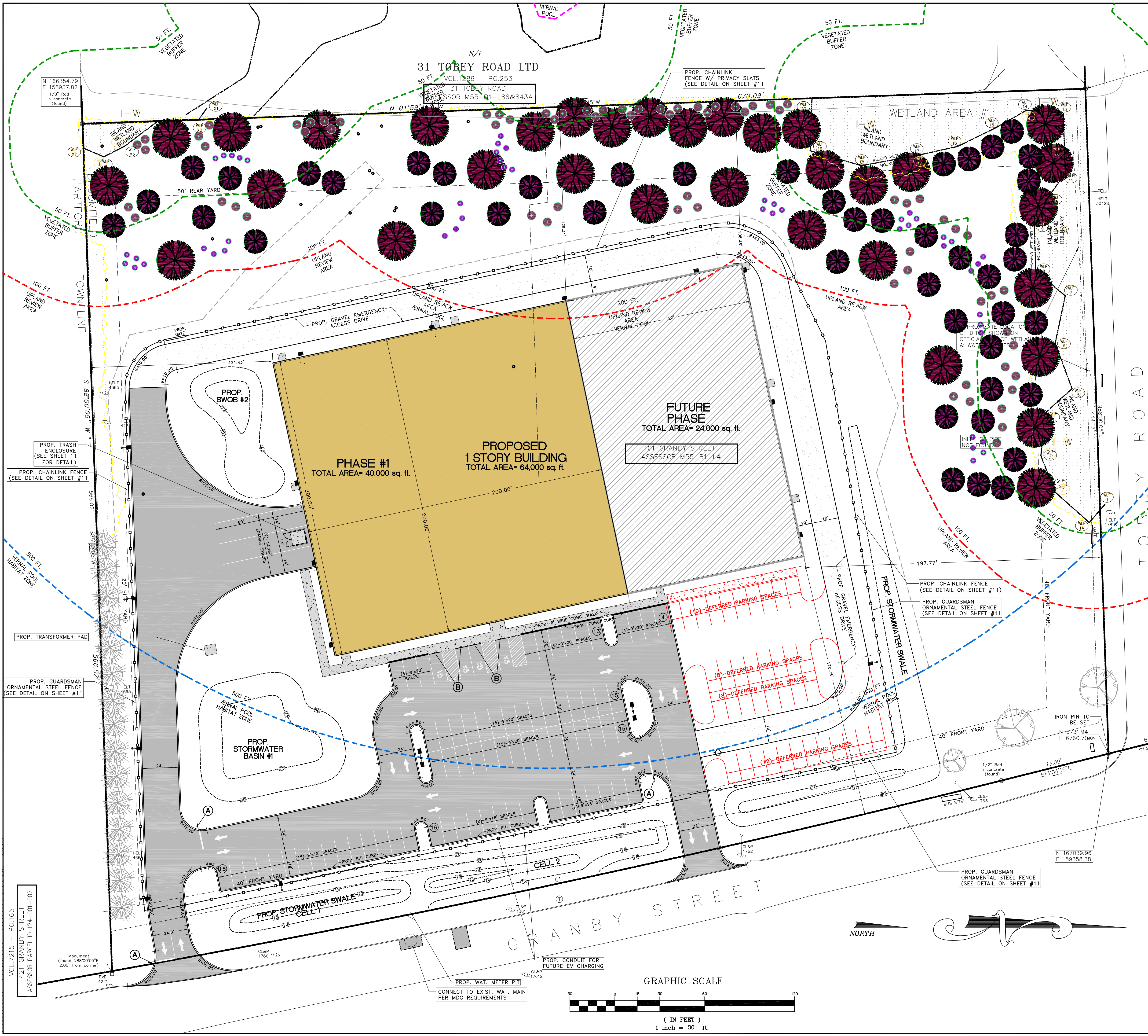
DUFOUR SURVEYING LLC
575 NORTH MAIN STREET
BRISTOL, CONNECTICUT
860-314-0502 860-738-0222

MAP REFERENCES :

- "SUBDIVISION PLAN - PROPERTY OF - CAMAR ASSOCIATES - TOBEY ROAD - BLOOMFIELD, CONNECTICUT", scale 1" = 40', dated 3-15-89 and prepared by Palmberg & Russo, Land Surveyors & Professional Engineers.
- "LIMITED PROPERTY/BOUNDARY SURVEY - WILLOW CREEK CONDOMINIUM - LAND OF - THE HOUSING AUTHORITY OF THE - CITY OF HARTFORD 0 #421 GRANBY STREET - HARTFORD, CONNECTICUT", scale 1" = 100', dated 04/21/17, revised to 05/23/17, and prepared by Juliana Associates, Engineers & Surveyors.
- "PROPOSED RELOCATION OF GRANBY STREET - DUE TO DEED CONFLICT - BLOOMFIELD, CONNECTICUT", scale 1" = 50', dated September, 1954 and prepared by Harold R. Sanderson, C.E. & L.S.
- "TOWN OF BLOOMFIELD - ENGINEERING DEPARTMENT - SOUTH INDUSTRIAL PARK - STREET LINE MAP", scale 1" = 100', dated 11/7/63, and prepared by the Town of Bloomfield, Engineering Department
- "IMPROVEMENT LOCATION SURVEY PREPARED FOR BORGHESI BUILDING & ENGINEERING CO. INC., 101 GRANBY STREET BLOOMFIELD, CONNECTICUT, SCALE: 1"=30', JANUARY 18, 2021, BY DUFOUR SURVEYING LLC, CARMINE J. MATRASCHIA, L.S. #70219"
- "IMPROVEMENT LOCATION SURVEY, RECORD DRAWING, GRANBY STREET FROM THE HARTFORD TOWN LINE TO COTTAGE GROVE ROAD BLOOMFIELD, CONNECTICUT, SCALE: 1"=40', SEPTEMBER 23, 2019, REVISED 10/17/2019, BY GARDNER & PETERSON ASSOCIATES, LLC, ERIC R. PETERSON - L.S. #23430."
- "WETLAND MAP AMENDMENT PLAN, TOPOGRAPHIC SURVEY, PREPARED FOR BORGHESI BUILDING & ENGINEERING CO. INC., 101 GRANBY STREET BLOOMFIELD, CONNECTICUT, SCALE: 1"=30', NOVEMBER 30, 2021, REVISED 6/2/2022, BY DUFOUR SURVEYING LLC, CARMINE J. MATRASCHIA - L.S. #70219."

NOTES:

- THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INCORPORATED ON SEPTEMBER 26, 1996.
- TYPE OF SURVEY = LIMITED PROPERTY SURVEY
- BOUNDARY DETERMINATION CATEGORY = DEPENDENT RE-SURVEY
- OWNERS OF RECORD - GRANBY TOBEY LLC (Vol.2102 - PG.89)
- TOTAL AREA - 341,365 S.F. or 7.837 Ac.
- ZONE - I-1
- INLAND WETLAND BOUNDARIES SHOW ARE FIELD LOCATION OF FLAGGING DELINEATED BY JAMES M. McMANUS, SOIL SCIENTIST ON DECEMBER 11, 2020 & MAY 31, 2022.
- NO INTERIOR IMPROVEMENTS LOCATED.
- UNDERGROUND UTILITIES, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS ARE APPROXIMATE AND OTHER SUCH FEATURES MAY EXIST UNKNOWN TO DUFOUR SURVEYING ASSOCIATES. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455
- VERTICAL DATUM BASED ON MAP REFERENCE #6 PROVIDED BY BLOOMFIELD TOWN ENGINEER JONATHAN THIESSE AND FIELD VERIFIED BY DUFOUR SURVEYING LLC.
- COORDINATES AND BEARINGS BASED ON MDC DATUM AS ESTABLISHED BY MAP REFERENCE #1 AS PROVIDED BY BLOOMFIELD TOWN ENGINEER JONATHAN THIESSE.
- PROPERTY IS CONTAINED WITHIN SHEETS 55 & 88 OF TOWN OF BLOOMFIELD CONNECTICUT OFFICIAL MAP OF INLAND WETLANDS & WATERCOURSES.
- PROPERTY IS LOCATED IN THE NORTH BRANCH OF THE PARK RIVER WATERSHED.



ZONING BULK TABLE

LOCATION: TOWN OF BLOOMFIELD, HARTFORD COUNTY, CONNECTICUT				
ZONE: I-1 GENERAL INDUSTRY DISTRICT (I-1)				
USE: CULTIVATION FACILITY				
ITEM #	SEC. #	ITEM	REQUIREMENTS	PROPOSED
1	4.3.B.	MIN. LOT AREA	N/A	341,385 S.F.
2	4.3.B.	MIN. LOT WIDTH	0 ft.	380.81'
3	4.3.B.	MIN. FRONT YARD	40 ft.	170.76'
4	4.3.B.	MIN. SIDE YARD	20 ft.	187.77'/122.48'
5	4.3.B.	MIN. REAR YARD	50 ft.	114.38'
6	4.3.B.	MAX. BUILDING HEIGHT	60 ft.	<60'
7	4.3.B.	MAX. STORES	N/A	1 STORY
8	4.3.B.	MAX. LOT COVERAGE	50%	124,086/341,385= 36.35%

- NOTES:
- No parking is permitted in any required front yard and on parcels exceeding one (1) acre the Commission may require that no parking or loading is permitted in any side or rear yard. For corner lots, parking is permitted in the inside 20 feet of the 40 foot front yard for the minor street. (4/78/79)
 - No building or structure shall be located within 20 feet of any property line or within 50 feet of the boundary line of any residential zone or within 40 feet of a street line.
 - No more than 50 percent of the total area of any lot may be used for building, access drives, parking and loading areas and other hard-surfaced areas, provided that the Commission may permit coverage of up to 60 percent when in their sole judgment circumstances relating to the lot or the development of the lot require such increase.
 - See Section 6.12 for Special Bulk Requirements.

6.12 SPECIAL BULK REQUIREMENTS.

6.12.A Height Exceptions.

- The height provisions of these regulations shall not apply to the erection of churches, bellfries, and towers designed exclusively for ornamental purposes, flagpoles, chimneys, flues, gas holders, electric generating plants, water tanks, standpipes, pethouses, bulkheads, storage towers or scenery lots.
- The height and story provisions of these regulations shall not prevent the erection of a school, public library, public museum, or a central telephone exchange, to a height not exceeding 40 feet in a residential district except that where such structure is located on a lot having an area of 25 acres or greater, and having a front yard setback of 100 feet or greater, the maximum height shall be 65 feet.
- Nothing in these regulations shall prevent the erection above the height limit of a parapet wall or cornice extending above such height limit not more than three (3) feet.

6.12.B Yard Exceptions.

- Except as governed by requirement for corner viability at intersections in Section 6.8, steps, terraces, fences and walls not over six (6) feet in height may be erected anywhere within the property, in residential districts and nonresidential districts (other than the I-1 and I-2 Industrial districts), structures more than six (6) feet in height must conform to the yard requirements. In industrial districts such structures more than eight (8) feet in height must conform to the yard requirements.
- Other usual projections such as window sills and cornices may extend into any required yard not more than one (1) foot, and a bay window may extend not more than two (2) feet.
- Reduced Front Yard on Corner Lots. On corner lots a building shall be required to comply with the front yard requirements on only one (1) street front, but the width of the side yard on a street line shall not be less than 15 feet in R-10 and R-15 districts, 25 feet in R-20, R-30 and R40 districts, and 40 feet in R-50, P-1 and I-1 and I-2 districts. (See MFR, PLR and PEC for specific requirements in these districts.)

PARKING AND LOADING TABLE

ITEM #	SEC. #	ITEM	REQUIREMENTS	PROPOSED
1	6.2.B.1.	Number of Spaces Required. (Undefined and all other commercial uses)	1 space for every 3 employees on site 1 shift, and 1 space for every 100 sq. ft. of building area. (See MFR, PLR and PEC for specific requirements in these districts.)	79 spaces (Including 4 I.C. spaces) (24 spaces allowed)
2	6.2.B.1.	Number of Loading Spaces Required. (Undefined and all other commercial uses)	Correlation based on the requirements applicable to comparable uses	2 loading spaces

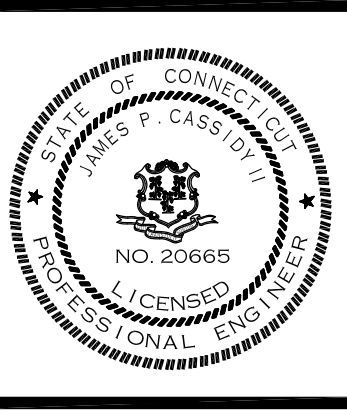
PROPOSED SIGNAGE LEGEND

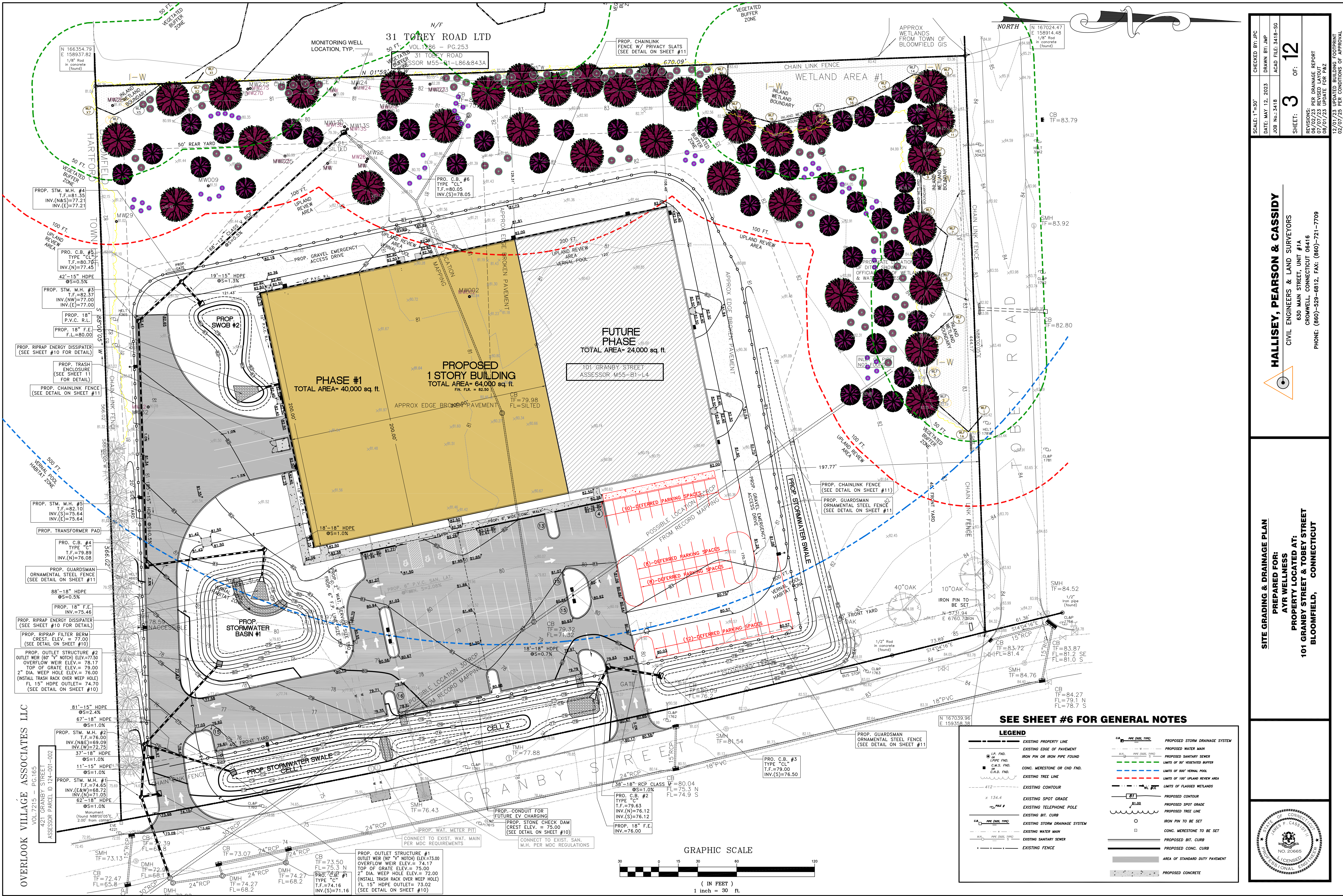
SYMBOL	CONDOT CATALOG #	TYPE OF SIGN
(A) INSTALL	31-0552	STOP
(B) INSTALL	31-0623 + 31-0648 (WHERE REQUIRED)	AVAILABLE FOR PARKING

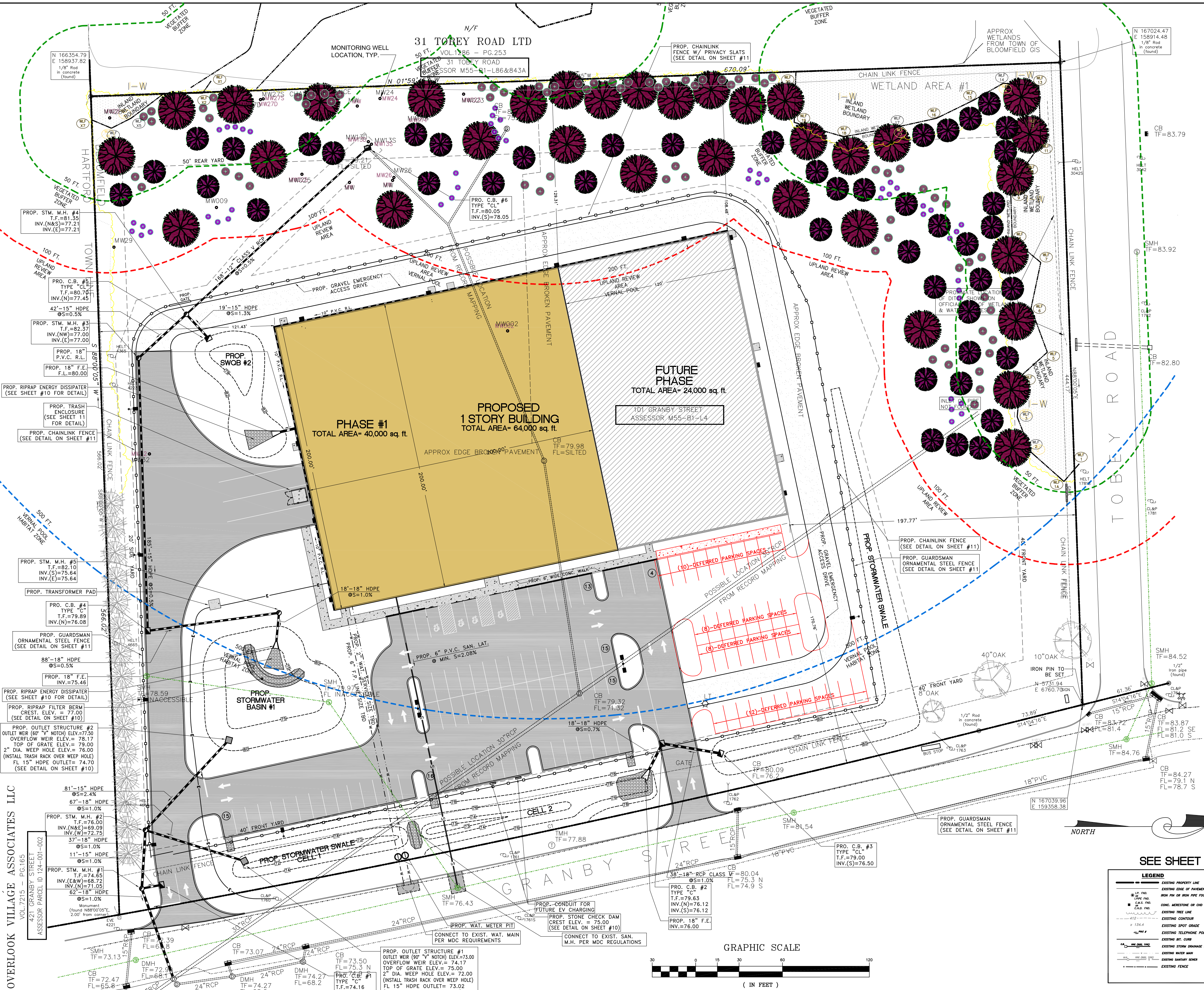
LEGEND	
EXISTING PROPERTY LINE	PROPOSED BIT. CURB
EXISTING EDGE OF PAVEMENT	LIMITS OF 50' VEGETATED BUFFER
IRON PIN OR IRON PIPE FOUND	LIMITS OF 500' VERNAL POOL
CONC. MERESTONE OR CHD FND.	LIMITS OF 100' UPLAND REVIEW AREA
EXISTING TREE LINE	LIMITS OF WETLANDS
EXISTING TELEPHONE POLE	PROPOSED TREE LINE
EXISTING BIT. CURB	IRON PIN TO BE SET
LIMITS OF 100' UPLAND REVIEW AREA	CONC. MERESTONE TO BE SET
EXISTING FENCE	PROPOSED BIT. CURB
AREA OF SNOW STORAGE	PROPOSED CONC. CURB
	AREA OF PAVEMENT
	PROPOSED CONCRETE

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROWELL, CONNECTICUT 06416
PHONE: (860) 529-6812. FAX: (860) 721-7709

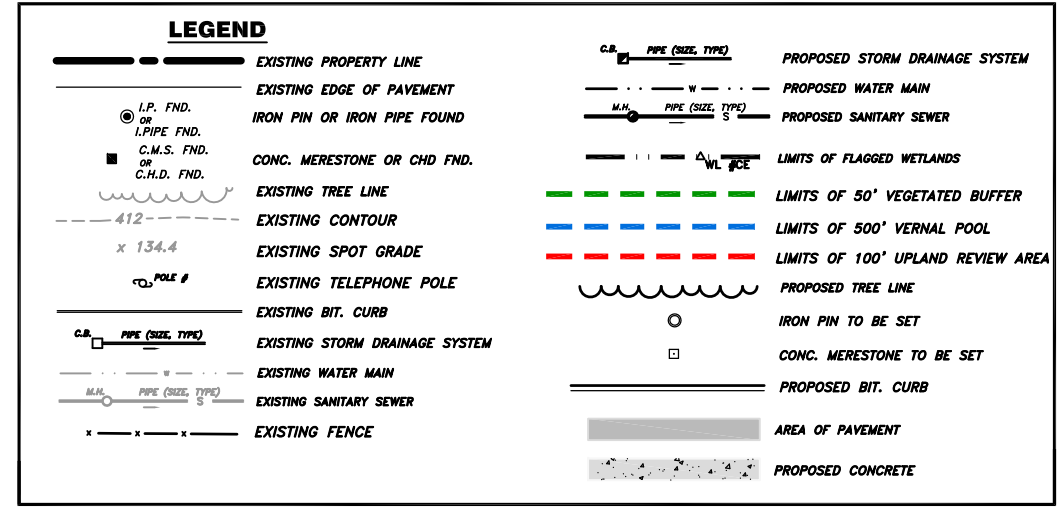
ZONING IMPROVEMENT LOCATION SURVEY-PROPOSED
& SITE LAYOUT PLAN
PREPARED FOR:
AYR WELLNESS
PROPERTY LOCATED AT:
101 GRANBY STREET & TOBEY STREET
BLOOMFIELD, CONNECTICUT





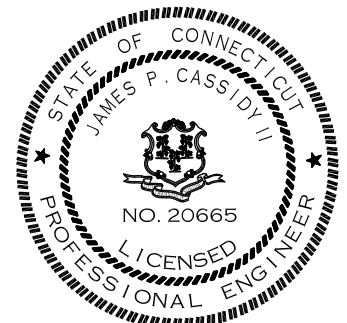


SEE SHEET #6 FOR SITE NOTES

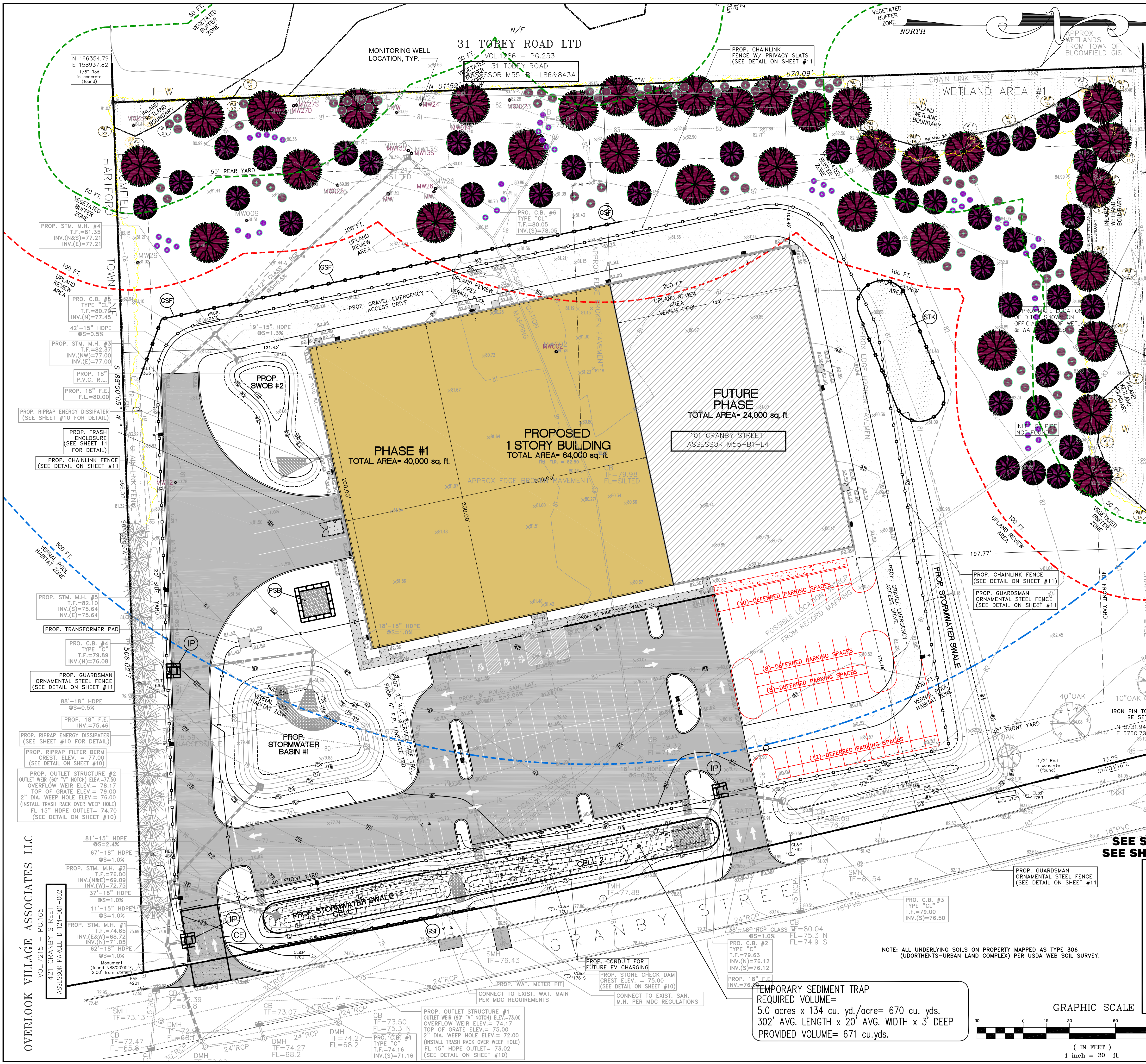


HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROWELL, CONNECTICUT 06416
PHONE: (860) 529-6812, FAX: (860) 721-7709

SITE UTILITIES PLAN
PREPARED FOR:
AYR WELLNESS
PROPERTY LOCATED AT:
101 GRANBY STREET & TOBEY STREET
BLOOMFIELD, CONNECTICUT



CHECKED BY: JPC	SCALE: 1"=30'
DRAWN BY: JMP	DATE: MAY 12, 2023
ACAD FILE: 3418-SU	JOB NO.: 3418
SHEET: 4	OF: 12
REVISIONS:	
06/02/23 PER DRAINAGE REPORT	
07/07/23 REVISED LAYOUT	
08/01/23 UPDATE FOR P&Z	
12/01/23 UPDATED BUILDING FOOTPRINT	
02/07/25 PER CONDITIONS OF APPROVAL	



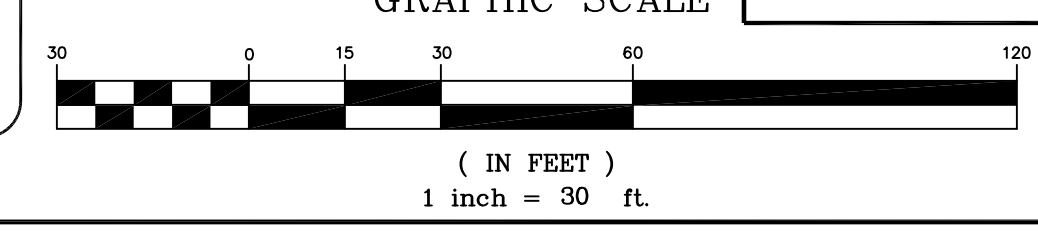
EROSION & SEDIMENT CONTROL LEGEND

	SEDIMENT FILTER FENCE
	STAKED HAY BALE
	CONSTRUCTION ENTRANCE
	TEMPORARY SOIL STOCKPILE - SURROUNDED BY SEDIMENT FILTER FENCE
	STONE CHECK DAM
	INLET PROTECTION (ALL CATCH BASINS AND YARD DRAINS)
	TEMPORARY SEDIMENT TRAP TO BE CONSTRUCTED PRIOR TO MASS EXCAVATION. CLEAN WHEN SEDIMENT DEPTH EQUALS 12"
	PUMP SETTING BASIN

LEGEND

	EXISTING PROPERTY LINE
	EXISTING EDGE OF PAVEMENT
	IRON PIN OR IRON PIPE FOUND
	CONC. MERESTONE OR CHD FND.
	EXISTING TREE LINE
	EXISTING CONTOUR
	EXISTING SPOT GRADE
	EXISTING TELEPHONE POLE
	EXISTING BIT. CURB
	EXISTING STORM DRAINAGE SYSTEM
	EXISTING WATER MAIN
	EXISTING SANITARY SEWER
	EXISTING FENCE
	PROPOSED STORM DRAINAGE SYSTEM
	PROPOSED WATER MAIN
	PROPOSED SANITARY SEWER
	LIMITS OF 50' VEGETATED BUFFER
	LIMITS OF 100' UPLAND REVIEW AREA
	LIMITS OF FLAGGED WETLANDS
	PROPOSED CONTOUR
	PROPOSED SPOT GRADE
	PROPOSED TREE LINE
	PROPOSED BIT. CURB
	PROPOSED STORM DRAINAGE SYSTEM
	PROPOSED WATER MAIN
	PROPOSED SANITARY SEWER
	PROPOSED FENCE
	AREA OF STANDARD DUTY PAVEMENT
	PROPOSED CONCRETE

NOTE: ALL UNDERLYING SOILS ON PROPERTY MAPPED AS TYPE 306 (UDORTHERTS-URBAN LAND COMPLEX) PER USDA WEB SOIL SURVEY.



EROSION CONTROL	CONTROL OBJECTIVE	INSPECTION/MAINTENANCE	FAILURE INDICATORS	REMOVAL
TEMPORARY SEDIMENT TRAP (TST)	REDUCE SEDIMENT LATER LANEWAY FROM SMALL MAINTENANCE OF THE SEDIMENT TO SETTLE OUT.	INSPECT AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL OF 0.5 INCHES OR GREATER. CLEAN OUT SEDIMENT WHEN ACCUMULATION EXCEEDS 12 INCHES. MAINTAIN SEDIMENT TRAP WITHIN 12 INCHES OF THE SEDIMENT TRAP.	SEDIMENT ACCUMULATION EXCEEDS 12 INCHES. SEDIMENT TRAP IS NOT MAINTAINED WITHIN 12 HOURS OF THE END OF A STORM.	IT MAY BE REMOVED WHEN THE SEDIMENT TRAP IS FULLY OPERATIONAL.
TEMPORARY SEDIMENT BASIN (SB/PT)	INTERCEPT AND DETENT SEDIMENT DURING CONTRIBUTION OF SEDIMENT TO THE DRAINAGE SYSTEM.	INSPECT AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL OF 0.5 INCHES OR GREATER. CLEAN OUT SEDIMENT WHEN ACCUMULATION EXCEEDS 12 INCHES. MAINTAIN SEDIMENT BASIN WITHIN 12 INCHES OF THE SEDIMENT BASIN.	SEDIMENT ACCUMULATION EXCEEDS 12 INCHES. SEDIMENT BASIN IS NOT MAINTAINED WITHIN 12 HOURS OF THE END OF A STORM.	TEMPORARY SEDIMENT BASIN MAY BE REMOVED WHEN THE SEDIMENT BASIN IS FULLY OPERATIONAL.
SILT FENCE (SIF)	INTERCEPT AND DETENT SEDIMENT DURING CONTRIBUTION OF SEDIMENT TO THE DRAINAGE SYSTEM.	INSPECT AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL OF 0.5 INCHES OR GREATER. CLEAN OUT SEDIMENT WHEN ACCUMULATION EXCEEDS 12 INCHES. MAINTAIN SILT FENCE WITHIN 12 INCHES OF THE SILT FENCE.	SEDIMENT ACCUMULATION EXCEEDS 12 INCHES. SILT FENCE IS NOT MAINTAINED WITHIN 12 HOURS OF THE END OF A STORM.	SILT FENCE MAY BE REMOVED AFTER THE SEDIMENT FENCE IS FULLY OPERATIONAL.
HAY BALES (HB)	REDUCE SEDIMENT LATER LANEWAY FROM SMALL MAINTENANCE OF THE SEDIMENT TO SETTLE OUT.	INSPECT AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL OF 0.5 INCHES OR GREATER. CLEAN OUT SEDIMENT WHEN ACCUMULATION EXCEEDS 12 INCHES. MAINTAIN HAY BALES WITHIN 12 INCHES OF THE HAY BALES.	SEDIMENT ACCUMULATION EXCEEDS 12 INCHES. HAY BALES ARE NOT MAINTAINED WITHIN 12 HOURS OF THE END OF A STORM.	HAY BALES MAY BE REMOVED AFTER THE HAY BALES ARE FULLY OPERATIONAL.
TEMPORARY DIVERSION (TD)	REDUCE SEDIMENT LATER LANEWAY FROM SMALL MAINTENANCE OF THE SEDIMENT TO SETTLE OUT.	INSPECT AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL OF 0.5 INCHES OR GREATER. CLEAN OUT SEDIMENT WHEN ACCUMULATION EXCEEDS 12 INCHES. MAINTAIN TEMPORARY DIVERSION WITHIN 12 INCHES OF THE TEMPORARY DIVERSION.	SEDIMENT ACCUMULATION EXCEEDS 12 INCHES. TEMPORARY DIVERSION IS NOT MAINTAINED WITHIN 12 HOURS OF THE END OF A STORM.	TEMPORARY DIVERSION MAY BE REMOVED WHEN THE TEMPORARY DIVERSION IS FULLY OPERATIONAL.
CONSTRUCTION ENTRANCE (CE)	REDUCE THE TRAILING OF SEDIMENT OFF-SITE.	INSPECT AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL OF 0.5 INCHES OR GREATER. CLEAN OUT SEDIMENT WHEN ACCUMULATION EXCEEDS 12 INCHES. MAINTAIN CONSTRUCTION ENTRANCE WITHIN 12 INCHES OF THE CONSTRUCTION ENTRANCE.	SEDIMENT ACCUMULATION EXCEEDS 12 INCHES. CONSTRUCTION ENTRANCE IS NOT MAINTAINED WITHIN 12 HOURS OF THE END OF A STORM.	CONSTRUCTION ENTRANCE MAY BE REMOVED WHEN THE CONSTRUCTION ENTRANCE IS FULLY OPERATIONAL.
CATCH BASIN INLET PROTECTION (IP)	REDUCE THE TRAILING OF SEDIMENT OFF-SITE.	INSPECT AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL OF 0.5 INCHES OR GREATER. CLEAN OUT SEDIMENT WHEN ACCUMULATION EXCEEDS 12 INCHES. MAINTAIN CATCH BASIN INLET PROTECTION WITHIN 12 INCHES OF THE CATCH BASIN INLET PROTECTION.	SEDIMENT ACCUMULATION EXCEEDS 12 INCHES. CATCH BASIN INLET PROTECTION IS NOT MAINTAINED WITHIN 12 HOURS OF THE END OF A STORM.	CATCH BASIN INLET PROTECTION MAY BE REMOVED WHEN THE CATCH BASIN INLET PROTECTION IS FULLY OPERATIONAL.
STOCKPILE PROTECTION (STP)	REDUCE THE TRAILING OF SEDIMENT OFF-SITE.	INSPECT AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL OF 0.5 INCHES OR GREATER. CLEAN OUT SEDIMENT WHEN ACCUMULATION EXCEEDS 12 INCHES. MAINTAIN STOCKPILE PROTECTION WITHIN 12 INCHES OF THE STOCKPILE PROTECTION.	SEDIMENT ACCUMULATION EXCEEDS 12 INCHES. STOCKPILE PROTECTION IS NOT MAINTAINED WITHIN 12 HOURS OF THE END OF A STORM.	STOCKPILE PROTECTION MAY BE REMOVED WHEN THE STOCKPILE PROTECTION IS FULLY OPERATIONAL.
DUST PROTECTION (DP)	REDUCE THE TRAILING OF SEDIMENT OFF-SITE.	INSPECT AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL OF 0.5 INCHES OR GREATER. CLEAN OUT SEDIMENT WHEN ACCUMULATION EXCEEDS 12 INCHES. MAINTAIN DUST PROTECTION WITHIN 12 INCHES OF THE DUST PROTECTION.	SEDIMENT ACCUMULATION EXCEEDS 12 INCHES. DUST PROTECTION IS NOT MAINTAINED WITHIN 12 HOURS OF THE END OF A STORM.	DUST PROTECTION MAY BE REMOVED WHEN THE DUST PROTECTION IS FULLY OPERATIONAL.

EROSION & SEDIMENT CONTROL PLAN

PREPARED FOR:
AYR WELLNESS

PROPERTY LOCATED AT:
101 GRANBY STREET & TOBEY STREET
BLOOMFIELD, CONNECTICUT

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROWELL, CONNECTICUT 06416
PHONE: (860)-529-6812. FAX: (860)-721-7709

SCALE: 1"=30'

CHECKED BY: JPC
DATE: MAY 12, 2023
JOB NO.: 3418
ACAD FILE: 3418-ES

SHEET: **5** OF: **12**

REVISIONS:
06/02/23 PER DRAINAGE REPORT
07/01/23 REVISED LAYOUT
12/01/23 UPDATED BUILDING FOOTPRINT
02/07/25 PER CONDITIONS OF APPROVAL

SITE PLAN NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH TOWN OF BLOOMFIELD, STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS IN THE ABOVE REFERENCED HIERARCHY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
2. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL TOWN CONSTRUCTION PERMITS, INCLUDING DOT PERMITS AND SEWER AND WATER CONNECTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
3. REFER TO OTHER PLANS, DETAILS AND NOTES FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFORMED WITH THE LOCAL CONSTRUCTION MANAGER PRIOR TO BIDDING.
4. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLAN SPECIFICATIONS TO THE OWNER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
5. THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE EROSION CONTROL PLAN.
6. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDINGS AND THE RAISED CONCRETE SIDEWALKS AND RAMPS.
7. SHOULD ANY UNCHARTED, OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
8. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
9. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OR PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
10. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES.
11. REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
12. TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7" VERTICAL CLEARANCE UNLESS OTHERWISE DETAILLED OR NOTED.
13. THE CONTRACTOR SHALL ABIDE BY ALL OSHA FEDERAL STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
14. THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF THE PAINT MIXTURE PRIOR TO STRIPING.
15. PAVEMENT MARKING KEY:
- | | |
|----------|---|
| 4" SYDL | 4" SOLID YELLOW DOUBLE LINE |
| 4" SYL | 4" SOLID YELLOW LINE |
| 4" SWL | 4" SOLID WHITE LINE |
| 12" SWSB | 12" SOLID WHITE STOP BAR |
| 4" BWL | 4" BROKEN WHITE LINE 10' STRIPE 30' SPACE |
16. PARKING SPACES SHALL BE STRIPED WITH 4" SWL; HATCHED AREA SHALL BE STRIPED WITH 4" SWL AT A 45° ANGLE, 2' ON CENTER. HATCHING SYMBOLS, AND STRIPING FOR HANDICAPPED SPACES SHALL BE PAINTED BLUE. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.
17. THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE ENGINEER.
18. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
19. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
20. THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION TRENCHING AND TRENCH PROTECTION REQUIREMENTS..
21. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, SITE ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING PROCESS.
22. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT "(800)922-4455" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
23. PAVEMENT MARKINGS SHALL BE HOT APPLIED TYPE IN ACCORDANCE WITH CT DOT SPECIFICATIONS, UNLESS WHERE EPOXY RESIN PAVEMENT MARKINGS ARE INDICATED.
24. TOWN OF BLOOMFIELD STREET EXCAVATION PERMIT SHALL BE OBTAINED BY CONTRACTOR.
25. AN EROSION CONTROL BOND IS REQUIRED TO BE POSTED BY THE CONTRACTOR BEFORE THE START OF ANY ACTIVITY ON OR OFF SITE.
26. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
28. THESE PLANS ARE FOR PERMITTING.
29. THE SITE IS PROPOSED TO BE SERVED BY PUBLIC WATER AND PUBLIC SEWER SYSTEM.
30. PROPERTY SHOWN ON F.I.R.M. NO. 0900470004B, DATED: JUNE 15, 1982, NO DIGITAL DATA AVAILABLE. THE PORTION OF THIS PROPERTY THAT IS BEING DEVELOPED IS IN A FLOOD ZONE "C".
31. 12" SWSB (STOP BAR) AND 4" SYDL AND SWL PAVEMENT MARKINGS LOCATED IN DRIVEWAYS AND IN STATE HIGHWAY SHALL BE EPOXY RESIN TYPE ACCORDING TO CT DOT SPECIFICATIONS.
32. FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN FIRE MARSHAL.
33. THE APPLICANT WILL PROVIDE AND MAINTAIN ADEQUATE SIGHT DISTANCES AT ALL DRIVEWAY INTERSECTIONS. CURRENT STATE OF CONNECTICUT HIGHWAY DESIGN STANDARDS WILL APPLY TO REQUIRED SIGHT DISTANCES.
34. THE APPLICANT WILL REGISTER BUILDING ALARMS PER TOWN ORDINANCE.
35. THE APPLICANT WILL CONTROL DUST AND DEBRIS ON THE SURROUNDING ROADWAYS DURING CONSTRUCTION. PROPER SAFETY PRECAUTIONS AND EQUIPMENT ARE TO BE UTILIZED WHEN WORKING ON PUBLIC ROADWAYS AND ARE THE APPLICANT'S RESPONSIBILITY TO PROVIDE.
36. THE APPLICANT WILL OBTAIN A CONNECTICUT DEPARTMENT OF TRANSPORTATION ENCROACHMENT PERMIT FOR ANY WORK DONE IN THE STATE RIGHT OF WAY.
37. THE APPLICANT MUST COMPLY WITH CONNECTICUT DEPARTMENT OF TRANSPORTATION STIPULATIONS/REGULATIONS WHEN APPLICABLE.
38. ALL DISTURBED PAVEMENT MARKINGS MUST BE REPLACED WITH EPOXY PAINT.
39. A BUILDING PERMIT FROM THE TOWN OF BLOOMFIELD IS REQUIRED FOR RETAINING WALLS IN EXCESS OF 30" IN HEIGHT. CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE BUILDING PERMIT.
40. NO OUTDOOR STORAGE IS PROPOSED ON THE PROPERTY.

GRADING AND DRAINAGE NOTES

GRADING GENERAL NOTES:

1. SEE THIS PLAN SHEET FOR ADDITIONAL SITE PLAN AND GENERAL NOTES.
2. THE GRADING AND DRAINAGE PLAN IS INTENDED TO DESCRIBE GRADING AND DRAINAGE ONLY. REFER TO SITE PLAN FOR GENERAL INFORMATION, AND DETAIL SHEETS FOR DETAILS. SEE MEP DRAWINGS FOR BUILDING CONNECTION LOCATIONS AND DETAILS.
3. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND NOTES.
4. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY GOVERNMENT AND LOCAL AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL MUNICIPALITIES REQUIRED TO PERFORM ALL REQUIRED WORK, INCLUDING FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
6. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES.
7. THE CONTRACTOR SHALL COMPACT FILL IN 12" MAXIMUM LIFTS UNDER ALL PARKING, BUILDING, AND DRIVE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
8. UNDERDRAINS SHALL BE ADDED, IF DETERMINED NECESSARY IN THE FIELD BY THE DESIGN OR TOWN ENGINEER AFTER SUBGRADE IS ROUGH GRADED, AS APPROVED BY THE BLOOMFIELD TOWN STAFF.
9. VERTICAL DATUM IS NVGD 1988.
10. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN OF BLOOMFIELD AGENCY PRIOR TO THE START OF WORK ON THE SITE.
11. PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SILTING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION GUIDELINES FOR SOIL EROSION AND SEDIMENT POLLUTION CONTROL. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE EROSION CONTROL PLAN CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE LOCAL MUNICIPALITIES, OR SOIL CONSERVATION SERVICE WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.
12. ALL SITE WORK, MATERIALS OR CONSTRUCTION, AND CONSTRUCTION METHODS FOR EARTHWORK STORM DRAINAGE AND UTILITY WORK SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION UNLESS OTHERWISE STATED IN THE PROJECT MANUAL SPECIFICATIONS. ALL FILL MATERIALS UNDER STRUCTURES AND PAVED AREAS SHALL BE PER THE SPECIFICATIONS, AND/OR PROJECT GEOTECHNICAL REPORT, AND SHALL BE PLACED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE DOT, UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. MATERIAL SHALL BE COMPACTED IN 12" LIFTS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557 AT 3 +/- PERCENT OF OPTIMUM MOISTURE CONTENT.
13. ALL DISTURBANCE INCURRED TO TOWN OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE TOWN OF BLOOMFIELD AUTHORITY AND STATE OF CONNECTICUT.
14. ALL CONSTRUCTION SHALL COMPLY WITH THE LOCAL MUNICIPALITY'S STANDARDS AND STATE OF CONNECTICUT'S DOT SPECIFICATIONS. ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS. WHERE SPECIFICATIONS OR STANDARDS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION OR STANDARD SHALL BE SUPERIOR.

PRODUCT NOTES:

1. SHOP DRAWINGS: THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF MATERIALS AND STRUCTURES FOR REVIEW AND APPROVAL PRIOR TO DELIVERY TO THE SITE. ALLOW 14 WORKING DAYS FOR REVIEW.
2. POLY VINYL CHLORIDE PIPE (PVC) FOR STORM AND SANITARY PIPING SHALL HAVE BUILT-IN RUBBER GASKET JOINTS. PVC SHALL CONFORM TO ASTM D-3034 (SDR35) WITH COMPRESSION JOINTS AND MOLDED FITTINGS. PVC SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS; ASTM-D2321 AND MANUFACTURERS RECOMMENDED PROCEDURE.
3. ALL ROP SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-76; ALL ROP SHALL BE CLASS IV UNLESS OTHERWISE SHOWN. JOINTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-443.
4. MANHOLE SECTIONS AND CONSTRUCTION SHALL CONFORM TO ASTM C-478.
5. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER 12" OR GREATER IN DIAMETER SHALL BE HI-Q SURE-LOK 10.8 PIPE AS MANUFACTURED BY HANCOR INC. OR APPROVED EQUAL. HDPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF ASSHOT M294, TYPE PIPE SECTIONS SHALL BE JOINED WITH BELL-AND-SPIGOT JOINT MEETING THE REQUIREMENTS OF AASHTO M294. THE BELL SHALL BE AN INTEGRAL PART OF THE PIPE AND PROVIDE A MINIMUM PULL-APART STRENGTH OF 400 POUNDS. THE JOINT SHALL BE WATERTIGHT ACCORDING TO THE REQUIREMENTS OF ASTM D3212. GASKETS SHALL BE MADE OF POLYISOPRENE MEETING THE REQUIREMENTS OF ASTM F477. ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND CONSTRUCTION MANAGER PRIOR TO ORDERING.
6. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER LESS THAN 12" IN DIAMETER SHALL BE HI-Q PIPE AS MANUFACTURED BY HANCOR INC. OR APPROVED EQUAL. HDPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF AASHTO 252, TYPE S. PIPE SECTIONS SHALL BE JOINED WITH COUPLING SNAPS OR EXTERNAL SNAP JOINTS COVERING AT LEAST 2 FULL CORRUGATIONS ON EACH END OF THE PIPE. SILT-TIGHT (GASKET) CONNECTIONS SHALL INCORPORATE A CLOSED SYNTHETIC EXPANDED RUBBER GASKET. MEETING THE REQUIREMENTS OF AASHTO D1066 GRADE 242. GASKETS SHALL BE INSTALLED ON THE CONNECTION BY THE PIPE MANUFACTURER. ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND CONSTRUCTION MANAGER PRIOR TO ORDERING.

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER AND ARCHITECT IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS.
2. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
3. THE CONTRACTOR SHALL ABIDE BY ALL OSHA FEDERAL STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
4. THE CONTRACTOR SHALL PROVIDE RECORD DRAWINGS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
5. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
6. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT "811" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
7. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN OVER SCALED DIMENSIONS.
8. IF PLANS AND OR SPECIFICATIONS ARE IN CONFLICT, THE MOST EFFECTIVE SHALL APPLY AS DETERMINED BY A LICENSED PROFESSIONAL AND APPROVED BY TOWN STAFF.
9. ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN COMPLETE DRAWING PLAN SETS FOR BIDDING AND CONSTRUCTION. PLAN SETS SHALL NOT BE DISASSEMBLED INTO PARTIAL PLAN SETS FOR USE BY CONTRACTORS AND SUBCONTRACTORS OF INDIVIDUAL TRADES. IT SHALL BE THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY TO OBTAIN COMPLETE PLAN SETS FOR USE IN BIDDING AND CONSTRUCTION.
10. ALL NOTES AND DIMENSIONS DESIGNATED "TYPICAL" APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.
11. CONTRACTOR'S TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF SAME. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
12. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.

UTILITIES NOTES

UTILITY CONSTRUCTION NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE LOCAL MUNICIPALITIES TO SECURE PERMITS AND FOR PAYMENT OF FEES FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES.
2. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES.
3. THIS PLAN DETAILS SITE INSTALLED PIPES UP TO 5' FROM THE BUILDING FACE. REFER TO DRAWINGS BY OTHERS FOR BUILDING CONNECTION POINT OR AT EXISTING UTILITY OR PIPE CONNECTION POINT.
4. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE SEWERS CROSS UTILITIES, AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT THE SITE ENGINEER IN THE EVENT OF ANY DISCOVERED OR UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
5. UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY CO. AND TOWN STAFF REVIEW.
6. THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY COMPANIES AND TOWN STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET. THE CONTRACTOR SHALL PERFORM PROPER COORDINATION WITH THE RESPECTIVE UTILITY PROVIDER, TOWN OF BLOOMFIELD PUBLIC WORKS DEPARTMENT AND TOWN OF BLOOMFIELD WATER & SEWER DEPARTMENT.
7. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES FOR SERVICE INSTALLATIONS AND CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY COMPANIES AND SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTION, REALLOCATIONS, INSPECTIONS, AND DEMOLITION.
8. ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT. AFTER UTILITY INSTALLATION IS COMPLETED THE SITE CONTRACTOR SHALL INSTALL TEMPORARY OR PERMANENT PAVEMENT REPAIR AS DETAILLED ON THE PLANS OR AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
9. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
10. SANITARY LATERAL SHALL MAINTAIN (10' MIN. HORIZONTAL 1.5' VERTICAL MIN.) SEPARATION DISTANCE FROM WATER LINES, OR ADDITIONAL PROTECTION MEASURES WILL BE REQUIRED WHERE PERMITTED.
11. RELOCATION OF UTILITY COMPANY FACILITIES SUCH AS POLES, TO BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FACILITY OWNERS.
12. THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 12" LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROUGH EXCAVATION. STORM SEWERS MAY BE PLACED PRIOR TO PLACING FILL.
13. CONTRACTOR TO PROVIDE SLEEVES UNDER FOOTINGS FOR UTILITY CONNECTIONS.
14. UTILITY PENETRATIONS AND LOCATIONS ARE SHOWN FOR THE CONTRACTOR'S INFORMATION AND SHALL BE VERIFIED WITH THE MEP DRAWINGS AND CONSTRUCTION MANAGER.
15. ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION FOR APPROVAL PRIOR TO BACKFILLING, IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY AND/OR THE LOCAL MUNICIPALITIES' REQUIREMENTS.
16. A ONE-FOOT MINIMUM CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, AND TELEPHONE LINES AND STORM SEWERS SHALL BE PROVIDED. A SIX-INCH MINIMUM CLEARANCE SHALL BE MAINTAINED BETWEEN STORM AND SANITARY SEWER WITH A CONCRETE ENCASEMENT.
17. CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC., AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING STUB OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
18. MANHOLE RIMS SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE FRAMES AND VALVE COVERS TO BE RAISED OR LOWERED FLUSH WITH FINAL GRADE AS NECESSARY.
19. SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF CONDUIT AND CABLES FOR SITE LIGHTING WITH THE BUILDING ELECTRICIAN/ELECTRICAL CONTRACTOR.
20. CONTRACTOR SHALL COORDINATE INSTALLATION FOR ELECTRICAL SERVICES TO PYLON SIGNS AND SITE LIGHTING WITH THE BUILDING ELECTRICAL/ELECTRICAL CONTRACTOR.
21. THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, OR LANDSCAPED AREAS DISTURBED DURING CONSTRUCTION, TO THEIR ORIGINAL CONDITION OR BETTER.
22. INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES. CONTACT "CALL BEFORE YOU DIG" AT 1-(800)-922-4455 72 HOURS PRIOR TO CONSTRUCTION AND VERIFY ALL UNDERGROUND AN OVERHEAD UTILITY LOCATIONS.
23. THE CONTRACTOR SHALL ARRANGE AND COORDINATE WITH UTILITY COMPANIES AND THE TOWN OF BLOOMFIELD FOR WORK TO BE PERFORMED BY UTILITY COMPANIES OR BY THE TOWN OF BLOOMFIELD. THE CONTRACTOR SHALL PAY ALL UTILITY FEES AND REPAIR PAVEMENTS AS NECESSARY.
24. ELECTRIC, AND TELEPHONE SERVICES SHALL BE INSTALLED UNDERGROUND FROM SERVICE POLE CL&P #1543. THE CONTRACTOR SHALL INSTALL AND BACKFILL TWO 4" PVC CONDUITS FOR TELEPHONE SERVICE, FOUR 4" PVC CONDUITS FOR ELECTRIC SERVICE PRIMARY, PVC CONDUITS FOR ELECTRICAL SECONDARY PER BUILDING ELECTRICAL PLANS (SCHEDULE 80B UNDER PAVEMENT, SCHEDULE 40 IN NON PAVEMENT AREAS). SERVICES MAY BE INSTALLED IN A COMMON TRENCH WITH 1" CLEAR SPACE BETWEEN. MINIMUM COVER IS 36" ON ELECTRIC CONDUITS, AND 24" ON TELEPHONE CONDUITS. SERVICES SHALL BE MARKED WITH MAGNETIC LOCATOR TAPE AND SHALL BE BEDDED, INSTALLED, AND BACKFILLED IN ACCORDANCE WITH ELECTRIC COMPANY, AND PHONE COMPANY STANDARDS. GALVANIZED STEEL ELECTRICAL CONDUIT SHALL BE USED AT POLE AND TRANSFORMER LOCATIONS. INSTALL MANHOLES AS REQUIRED. INSTALL CONCRETE ENCASEMENT ON PRIMARY ELECTRIC CONDUITS IF REQUIRED BY ELECTRIC COMPANY.
25. ALL WATER LINES TO HAVE A MINIMUM COVER OF 54-INCHES. ALL LINES SHALL BE BEDDED IN 6" SAND AND BACKFILLED WITH 12" SAND.
26. ALL WATER MAINS, WATER SERVICES AND SANITARY SEWER LATERAL SHALL CONFORM TO THE DEPARTMENT OF ENVIRONMENTAL HEALTH, APPLICABLE TOWN OF BLOOMFIELD WATER & SEWER DEPARTMENT SPECIFICATIONS, AS WELL AS TO OTHER APPLICABLE CODES AND SPECIFICATIONS FOR POTABLE WATER SYSTEMS.
27. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, ENGINEER, UTILITY PROVIDER, AND APPROPRIATE REGULATORY AGENCIES PRIOR TO INSTALLATION.
28. THE CONTRACTOR SHALL MAINTAIN ALL UTILITY CONNECTIONS TO EXISTING ABUTTING HOUSES & COMMERCIAL BUILDINGS WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT BY THE OWNERS, THE PROJECT ENGINEER, UTILITY PROVIDER AND GOVERNING AUTHORITIES.
29. ANY EXISTING POTABLE WATER WELLS AND SEPTIC TANKS/ABSORPTION AREAS SHALL BE ABANDONED AND REMOVED PER THE DEPARTMENT OR ENVIRONMENTAL PROTECTION AND HEALTH CODE REQUIREMENTS.
30. THE CONTRACTOR MAY SUBSTITUTE MASONRY STRUCTURES FOR PRECAST STRUCTURES IF APPROVED BY THE SITE ENGINEER AND ALLOWED BY THE TOWN ENGINEER OR BY GOVERNING AUTHORITY.

POST CONSTRUCTION STORM WATER POLLUTION PLAN

RESPONSIBLE PARTIES AND STORMWATER MANAGEMENT SYSTEM OWNER:
AYR WELLNESS
2601 SOUTH BAYSHORE DRIVE, SUITE 900
MIAMI, FLORIDA 33133
PHONE: 413-275-8334

THE FOLLOWING PROCEDURES WILL BE IMPLEMENTED CONTINUALLY BY THE OWNER:

1. PAVEMENT SWEEPING: PARKING LOTS AND DRIVES SHALL BE SWEEPED A MINIMUM OF TWICE A YEAR (SPRING AND FALL).
2. CATCH BASINS: CATCH BASINS SHALL BE INSPECTED ON A REGULAR BASIS (AT LEAST TWICE PER YEAR) AND ANY SEDIMENT, OILS & FLOATABLES WILL BE REMOVED AS NECESSARY (A MINIMUM OF ONCE A YEAR TO ENSURE FUNCTIONING OF THE SYSTEM, UTILIZING A VACUUM TRUCK)
3. THE COLLECTION SYSTEM PIPES SHALL BE AT SIX-MONTH INTERVALS. REGULAR MAINTENANCE INCLUDES THE FOLLOWING ITEMS:
-INSPECTION OF THE OUTLET TO ENSURE THEY ARE NOT BLOCKED.
-CHECKING THE OUTLETS FROM THE DRAINAGE SYSTEM IS CLEAR AND NOT ERODING.
-REMOVING PAPER AND DEBRIS FROM INSIDE THE BASIN.
4. THE SEDIMENT FOREBAY SHALL BE INSPECTED A MINIMUM OF EVERY SIX MONTHS IN THE MONTHS OF APRIL AND OCTOBER. IF TRASH, DEBRIS, SEDIMENT DEPOSITS, ECT. SHALL BE NOTED AND ANY DEPOSITS FOUND TO BE 4 INCHES OR MORE, AS MEASURED FROM THE BOTTOM OF THE FOREBAY SHALL BE CLEANED AND REMOVED. ANY DEBRIS OR TRASH, ECT. SHALL BE REMOVED DURING NORMAL LANDSCAPE MAINTENANCE OPERATIONS. BARE AREAS SHALL BE SEEDD.
5. STORMWATER QUALITY BASIN SLOPES SHALL BE MOWED ONCE A YEAR. MORE FREQUENT MOWING WILL ELIMINATE NATIVE FORBS SEDGES FROM THE MEADOW COVER.
6. LANDSCAPING: LANDSCAPED AREAS WILL BE MAINTAINED. NORMAL LANDSCAPING MAINTENANCE WILL CONSIST OF PRUNING, MULCHING, PLANTING MOWING LAWN, RAKING LEAVES, ECT. USE OF FERTILIZERS AND PESTICIDE WILL BE CONTROLLED AND LIMITED TO MINIMAL AMOUNTS NECESSARY FOR HEALTHY LANDSCAPE MAINTENANCE. THE LAWN AREAS, ONCE ESTABLISHED, WILL BE MAINTAINED AT A TYPICAL HEIGHT OF 3 1/2". THIS WILL ALLOW THE GRASS TO BE MAINTAINED WITH A MINIMAL IMPACT FROM WEEDS AND/OR PEST. THE REAR (EASTERLY) SLOPE AREAS WILL BE MAINTAINED AS A MEADOW OR ALLOWED TO REVERT BACK TO WOODLANDS. PESTICIDE WILL ONLY BE USED AS A CONTROL METHOD WHEN A PROBLEM HAS BEEN IDENTIFIED AND OTHER NATURAL CONTROL METHODS ARE NOT SUCCESSFUL. ALL PESTICIDE APPLICATION SHALL BE BY LICENSED APPLICATORS, WHERE NECESSARY. TOPSOIL, BRUSH, LEAVES, CHIPPINGS, MULCH, EQUIPMENT, AND OTHER MATERIALS SHALL BE STORED OFF SITE.
7. MAINTAIN EXISTING NATIVE VEGETATION: EXISTING VEGETATION ALONG THE EASTERLY EDGE OF THE DEVELOPMENT, ADJACENT TO THE WETLANDS SHALL REMAIN IN ITS NATIVE CONDITIONS NO CLEARING, GRADING, STOCKPILING, STORAGE, OR DEVELOPMENT WILL OCCUR IN THESE AREAS WITHOUT PRIOR APPROVAL FROM THE APPROPRIATE AGENCIES.
8. TRASH COLLECTION: ALL TRASH WILL BE CONTAINED IN DUMPSTERS. ALL DUMPSTERS WILL BE EQUIPPED WITH COVERS. ALL TRASH WILL BE COLLECTED ON A REGULAR BASIS AND DISPOSED OF LEGALLY OFF-SITE.
9. OUTDOOR STORAGE: THERE WILL BE NO OUTDOOR OF HAZARDOUS CHEMICALS, FERTILIZER, PESTICIDES, OR HERBICIDE'S ANYWHERE AT THE FACILITY.
10. THE OWNER SHALL BE KEEP AN ON-SITE LOG OF STORMWATER MAINTENANCE MEASURES PERFORMED AND DATES THEY WERE IMPLEMENTED. THIS LOG BOOK SHALL BE AVAILABLE FOR THE TOWN OF BLOOMFIELD INSPECTION.

State of Connecticut Department of Transportation - 817 CONSTRUCTION NOTES

817 CONSTRUCTION NOTES

Removal of pavement markings along state roadways shall be completed by a non-destructive method in compliance with the State of Connecticut Department of Transportation Standard Specifications for Road, Bridges, and Incidental Construction Form 817 Section 12.11 as revised.

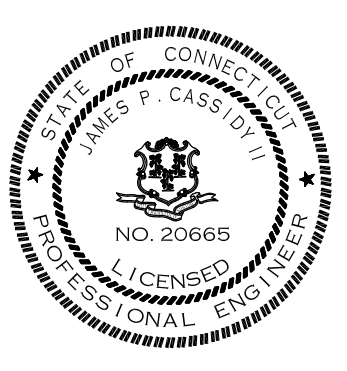
New pavement markings shall be painted with epoxy resin paint in compliance with the State of Connecticut Department of Transportation Standard Specifications for Roads, Bridges, and Incidental Construction Form 817 Section 12.10 as revised.

New sign material and sheeting shall be made of reflective material in compliance with State of Connecticut Department of Transportation Standard Specifications for Roads, Bridges, and Incidental Construction Form 817 Section 12.08 as revised. Type 1 Reflective Sheeting shall be used for signs with white background, Type 3 Reflective Sheeting shall be used for signs with colored background except for signs with red background that shall be Type 8 or 9 Reflective Sheeting.

All signs and pavement markings installed along the state road must conform to the "Manual on Uniform Traffic Control Devices," the latest State of Connecticut Catalog of Signs and standard as revised.

Any damage to the existing curb, sidewalk or any other highway appurtenances during the development of the permitted site will be replaced by the contractor as directed by the District 3 Permit Section at no cost to the state.

All work within the state right of way will comply with the State of Connecticut Department of Transportation Standard Specifications for Roads, Bridges and Incidental Construction Form 817 with the latest Special Provisions and Typical State Standard Details.

SCALE: 1"=50'	CHECKED BY: JPC	DATE: MAY 12, 2023	DRAWN BY: JMP	ACAD FILE: 3418-GEN-010
JOB No.: 3418	SHEET: 6 OF 12	REVISIONS: 06/02/23 PER DRAINAGE REPORT 07/01/23 REVISED LAYOUT 08/01/23 UPDATE FOR P&Z	12/01/23 UPDATED BUILDING FOOTPRINT 02/07/25 PER CONDITIONS OF APPROVAL	
GENERAL SITE NOTES PREPARED FOR: AYR WELLNESS PROPERTY LOCATED AT: 101 GRANBY STREET & TOBEY STREET BLOOMFIELD, CONNECTICUT				
CIVIL ENGINEERS & LAND SURVEYORS 630 MAIN STREET, UNIT #1A CROWELL, CONNECTICUT 06416 PHONE: (860)-529-6812, FAX: (860)-721-7709				
				

EROSION CONTROL NOTES

SEDIMENT & EROSION CONTROL NARRATIVE

THE SEDIMENT AND EROSION CONTROL PLAN WAS DEVELOPED TO PROTECT THE EXISTING ROADWAY AND STORM DRAINAGE SYSTEMS, ADJACENT PROPERTIES, AND THE WETLAND AREA FROM SURFACE RUNOFF AND EROSION. A CONSTRUCTION SEQUENCE IS PROVIDED TO PROVIDE SURFACE RUNOFF CONTROLS PRIOR TO THE PROJECT CONSTRUCTION BEGINNING.

CONSTRUCTION SCHEDULE

THE ANTICIPATED STARTING DATE FOR CONSTRUCTION IS SPRING 2025 WITH COMPLETION ANTICIPATED SPRING 2026. APPROPRIATE EROSION CONTROL MEASURES AS DESCRIBED HEREIN, SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ALL CONSTRUCTION ACTIVITY.

CONTINGENCY EROSION PLAN

THE CONTRACTOR SHALL INSTALL ALL SPECIFIED EROSION CONTROL MEASURES AND WILL BE REQUIRED TO MAINTAIN THEM IN THEIR INTENDED FUNCTIONING CONDITION. THE AGENTS OF THE DIRECTOR OF PLANNING & DEVELOPMENT, INLAND WETLANDS AGENCY AND/OR SITE ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUPPLEMENTAL MAINTENANCE OR ADDITIONAL MEASURES IF FIELD CONDITIONS ARE ENCOUNTERED BEYOND WHAT WOULD NORMALLY BE ANTICIPATED.

CONSTRUCTION SEQUENCE

THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

- CONTACT TOWN OF BLOOMFIELD AGENT AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF ANY DEMOLITION, CONSTRUCTION OR REGULATED ACTIVITY ON THE PROJECT. A PRE-CONSTRUCTION MEETING WITH LOCAL AND/OR STATE OFFICIALS NEEDS TO BE HELD PRIOR TO THE START OF CONSTRUCTION
- CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN OF BLOOMFIELD AGENT PRIOR TO THE START OF WORK ON THE SITE. INSTALL TREE PROTECTION AND PERIMETER SILT FENCE & HAY BALE SEDIMENT BARRIERS.
- CONSTRUCT TRACKING PADS AT ENTRANCES AND WRAP FILTER FABRIC AROUND GRATE OF CATCH BASINS OR INSTALL SILT SACKS ON CATCH BASIN INLETS ON OFF SITE ROADS. INSTALL SILT FENCE AT PERIMETER OF PROPOSED SITE DISTURBANCE AND INSTALL ALL EROSION CONTROL MEASURES AND TREE PROTECTION INDICATED ON THESE PLANS. INSTALL SEDIMENT TRAPS AND INSTALL SEDIMENT BASINS IN REQUIRED AT LOW AREAS OF SITE OR AS ORDERED BY THE ENGINEER OR AS SHOWN ON THESE PLANS.
- CLEAR AND GRUB SITE. STOCK PILE CHIPS. STRIP AND STOCKPILE TOPSOIL.
- INSTALL ADDITIONAL SILT FENCE AS REQUIRED, CONSTRUCT TEMPORARY DIVERSION BERMS AND AND SEDIMENT TRAPS.
- CONTINUE EARTHWORK. CONSTRUCT FILL SLOPE. INSTALL ADDITIONAL EROSION CONTROL AS REQUIRED. TOPSOIL AND SEED SLOPES WHICH HAVE ACHIEVED FINAL SITE GRADING. CONSTRUCT STORMWATER QUALITY BASIN.
- CONSTRUCTION STAKING OF ALL BUILDING CORNERS, UTILITIES, ACCESS DRIVES, AND PARKING AREAS.
- ROUGH GRADING.
- INSTALLATION OF STORM DRAINAGE.
- FOUNDATION CONSTRUCTION. BEGIN SUPERSTRUCTURE.
- REMOVE SEDIMENT FROM BEHIND SILT FENCES, AND FROM SEDIMENTATION BASINS AS REQUIRED. REMOVAL SHALL BE ON A PERIODIC BASIS (EVERY SIGNIFICANT RAINFALL). INSPECTION OF EROSION CONTROL MEASURES SHALL BE ON A WEEKLY BASIS. SEDIMENT COLLECTED SHALL BE DEPOSITED AND SPREAD EVENLY UPLAND ON SLOPES DURING CONSTRUCTION.
- INSTALL SANITARY LATERAL, WATER SERVICE AND ALL OTHER UTILITIES. COMPLETE STORM SEWERS.
- INSTALL SITE LIGHTING, LOADING DOCK AND TRASH ENCLOSURE.
- FINISH GRADING AND CONSTRUCT PARKING AREA SUBGRADE.
- CONSTRUCT SIDEWALKS.
- PAVING OF PARKING AREAS AND DRIVEWAYS
- FINAL GRADING OF SLOPE AREAS.
- PLACE 4" TOPSOIL ON SLOPES AFTER FINAL GRADING IS COMPLETED. FERTILIZE SEED AND MULCH. SEED MIXTURE TO BE INSTALLED APRIL 11 TO JUNE 1 OR AUGUST 15 TO OCTOBER 1 USE EROSION CONTROL BLANKETS AS REQUIRED OR ORDERED FOR SLOPES GREATER THAN 3:1. FOR TEMPORARY STABILIZATION BEYOND SEEDING DATES USE ANNUAL RYE AT 4.0 LBS/1,000 S.F. FERTILIZE WITH 10-10-10 AT 1.0 LBS. OF NITROGEN PER 1,000 S.F. AND LIME AT 100 LBS/1,000 S.F. (MAX.).
- LANDSCAPE ISLANDS AND PERIMETER AREAS. INSTALL SIGNING AND PAVEMENT MARKINGS.
- UPON DIRECTION OF THE TOWN OF BLOOMFIELD AGENT, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED FOLLOWING STABILIZATION OF THE SITE.

SEQUENCE OF OPERATIONS

OPERATION I – CLEARING AND GRUBBING

- ALL SEDIMENTATION AND EROSION CONTROL MEASURES, INCLUDING THE CONSTRUCTION OF THE TEMPORARY SEDIMENT TRAPS AND ANTI-TRACKING PADS, WILL BE INSTALLED PRIOR TO THE START OF CLEARING AND GRUBBING AND DEMOLITION OPERATIONS.
- FOLLOWING INSTALLATION OF ALL SEDIMENTATION AND EROSION CONTROL MEASURES, THE CONTRACTOR SHALL NOT PROCEED WITH OPERATION II UNTIL THE ENGINEER HAS INSPECTED AND APPROVED ALL INSTALLATIONS.
- THE CONTRACTOR SHALL TAKE EXTREME CARE DURING OPERATION I, SO AS NOT TO DISTURB UNPROTECTED WETLAND AREAS OR SEDIMENTATION AND EROSION CONTROL STRUCTURES.

OPERATION II – ROUGH GRADING

- DURING THE REMOVAL AND/OR PLACEMENT OF EARTH AS INDICATED ON THE SITE PLAN, TOPSOIL SHALL BE STRIPPED AND APPROPRIATELY STOCKPILED FOR REUSE.
- ALL STOCKPILED TOPSOIL SHALL BE SEEDED, MULCHED WITH HAY, AND ENCLOSED BY A SILTATION FENCE.

OPERATION III – FILLING

- PRIOR TO FILLING, ALL SEDIMENTATION AND EROSION CONTROL STRUCTURES SHALL BE PROPERLY IMPLEMENTED, MAINTAINED AND FULLY INSTALLED, AS DIRECTED BY THE ENGINEER AND AS SHOWN ON THE PLAN.
- ALL FILL MATERIAL ADJACENT TO ANY WETLAND AREAS SHALL BE GOOD QUALITY, WITH LESS THAN 5% FINES PASSING THROUGH A #200 SIEVE (BANK RUN), SHALL BE PLACED IN MAXIMUM ONE FOOT LIFTS, AND SHALL BE COMPACTED TO 95% MAX. DRY DENSITY MODIFIED PROCTOR OR AS SPECIFIED IN CONTRACT SPECIFICATIONS.
- AS GENERAL GRADING OPERATIONS PROGRESS, THE TEMPORARY DIVERSION DITCHES SHALL BE RAISED OR LOWERED, AS NECESSARY, TO DIVERT SURFACE RUNOFF TO THE BASINS.

OPERATION IV – PLACEMENT OF DRAINAGE STRUCTURES, UTILITIES, AND BUILDING CONSTRUCTION.

- STAKED SILT FENCES SHALL BE INSTALLED AT THE DOWNHILL SIDES OF BUILDING EXCAVATIONS, DEWATERING PUMP DISCHARGES, AND UTILITY TRENCH MATERIAL STOCKPILES.

OPERATION V – FINAL GRADING AND PAVING

- ALL INLET AND OUTLET PROTECTION SHALL BE PLACED AND MAINTAINED AS DISCUSSED IN OPERATION IV.
- NO CUT OR FILL SLOPES SHALL EXCEED 2:1 EXCEPT WHERE STABILIZED BY ROCK FACED EMBANKMENTS OR EROSION CONTROL BLANKETS, JUTE MESH AND VEGETATION. ALL SLOPES SHALL BE SEEDED, AND THE ROAD SHOULDER AND BANKS WILL BE STABILIZED IMMEDIATELY UPON COMPLETION OF FINAL GRADING UNTIL TURF IS ESTABLISHED.
- PAVEMENT BASE COURSES SHALL BE INSTALLED OVER AREAS TO BE PAVED AS SOON AS FINAL SUB-GRADES ARE ESTABLISHED AND UNDERGROUND UTILITIES HAVE BEEN INSTALLED.
- CONSTRUCT PAVEMENT, PLACE TOPSOIL, FINAL SEED, MULCH AND LANDSCAPING.
- REMOVE ALL TEMPORARY EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE BEEN PAVED AND/OR GRASS HAS BEEN WELL ESTABLISHED AND THE SITE HAS BEEN INSPECTED AND APPROVED BY THE TOWN OR GOVERNING WETLAND AGENCY.

SEQUENCE FOR INSTALLATION OF SOIL EROSION & SEDIMENTATION CONTROL MEASURES

PHASE 1

- ERECT SILTATION FENCES, SEDIMENT TRAPS, DIVERSION DITCHES, AND ANTI-TRACKING PAD.

- STRIP TOPSOIL AND STOCKPILE.

- PERFORM CLEARING AND GRUBBING ACTIVITIES, AND DEMOLITION.

- STABILIZE STOCK PILE.

PHASE 2

- INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.

- ROUGH GRADING.

PHASE 3

- INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.

- PERFORM FILLING ACTIVITIES.

PHASE 4

- INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.

- CONSTRUCT DRAINAGE STRUCTURES. CONSTRUCT DIVERSION BERMS, RIP RAPPED LINED DITCHES AND SEDIMENTATION BASINS.

PHASE 5

- INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.

- PERFORM FINAL GRADING AND PAVING.

PHASE 6

- INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.

- RESPREAD TOPSOIL.

- LIME, FERTILIZE, AND SEED.

- MULCH.

- FINAL COVER.

PHASE 7

- MAINTAIN SILTATION FENCES UNTIL COVER IS COMPLETELY STABILIZED.

- PERFORM FINAL INSPECTION.

- REMOVE SILTATION FENCES, CLEAN, AND RESTORE ALL AREAS.

INSTALLATION OF SEDIMENTATION AND EROSION CONTROL MEASURES

I. SILTATION FENCE

- DIG A SIX INCH TRENCH ON THE UPHILL SIDE OF THE DESIGNATED FENCE LINE LOCATION.

- POSITION THE POST AT THE BACK OF THE TRENCH (DOWNHILL SIDE), AND HAMMER THE POST AT LEAST 1.5 FEET INTO THE GROUND.

- LAY THE BOTTOM SIX INCHES OF THE FABRIC IN THE TRENCH TO PREVENT UNDERMINING BY STORM WATER RUN-OFF.

- BACKFILL THE TRENCH AND COMPACT.

OPERATION AND MAINTENANCE OF SEDIMENTATION AND EROSION CONTROL MEASURES

I. SILTATION FENCE

- ALL SILTATION FENCES SHALL BE INSPECTED AS A MINIMUM WEEKLY OR AFTER EACH RAINFALL. ALL DETERIORATED FABRIC AND DAMAGED POSTS SHALL BE REPLACED AND PROPERLY REPOSITIONED IN ACCORDANCE WITH THE PLAN.

- SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE FENCE WHEN THEY EXCEED A HEIGHT OF ONE FOOT.

II. SEDIMENT TRAPS/BASINS

- CONTRACTOR TO KEEP WEEKLY CHECKLIST LOGS FOR INSPECTIONS OF ALL SEDIMENT AND EROSION CONTROL DEVICES AND HAVE THEM READILY AVAILABLE ON-SITE AT ALL TIMES FOR INSPECTION BY DEEP, LOCAL AUTHORITIES OR ENGINEER.

- ALL PONDS SHALL BE INSPECTED FOLLOWING EACH RAINFALL. REPAIR OF SLOPES SHALL BE PROMPTLY MADE AS NEEDED.

- SEDIMENT DEPOSITS SHALL BE REMOVED FROM PONDS WHEN THEY EXCEED A HEIGHT OF ONE FOOT.

- SEDIMENT SHALL BE DISPOSED OF ON-SITE OR AS DIRECTED BY THE ENGINEER AND LOCAL GOVERNING OFFICIALS.

EROSION AND SEDIMENT CONTROL PLAN

- SILTATION FENCE WILL BE INSTALLED AT ALL CULVERT OUTLETS AND ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES.

- CATCH BASINS WILL BE PROTECTED WITH SILT SACKS OR HAY BALES THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.

- ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.

- EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO CONSTRUCTION WHENEVER POSSIBLE.

- ALL CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.

- ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF NECESSARY OR REQUIRED.

- SEDIMENT REMOVED FROM CONTROL STRUCTURES WILL BE DISPOSED IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THE PLAN.

- AYR WELLNESS IS THE PERMITEE RESPONSIBLE FOR IMPLEMENTING THE EROSION AND SEDIMENT CONTROL PLAN. THE RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFICATION OF THE BLOOMFIELD WETLANDS ENFORCEMENT OFFICER OR GOVERNING AUTHORITY OF THE TRANSFER OF THE RESPONSIBILITY AND FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.

EROSION AND SEDIMENT CONTROL PLAN SEDIMENT AND EROSION CONTROL NOTES

- THE DRAWING IS ONLY INTENDED TO DESCRIBE THE SEDIMENT AND EROSION CONTROL TREATMENT FOR THE SITE. SEE SEDIMENT AND EROSION CONTROL DETAILS AND CONSTRUCTION SEQUENCE. REFER TO SITE PLAN FOR GENERAL INFORMATION AND OTHER PLANS FOR APPROPRIATE INFORMATION.

- AYR WELLNESS IS THE PERMITEE RESPONSIBLE FOR IMPLEMENTING THE SEDIMENT AND EROSION CONTROL PLAN. THE RESPONSIBILITY INCLUDES THE PROPER INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED WITH CONSTRUCTION ON THE SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, INFORMING THE GOVERNING AUTHORITY OR INLAND WETLANDS AGENCY OF ANY TRANSFER OF THE RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE SEDIMENT & EROSION CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.

- THE CONTRACTOR SHALL CONSTRUCT ALL SEDIMENT AND EROSION CONTROLS IN ACCORDANCE WITH THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND AS DIRECTED BY THE TOWN OF BLOOMFIELD. THE CONTRACTOR SHALL KEEP A COPY OF THE GUIDELINES ON-SITE FOR REFERENCE DURING CONSTRUCTION.

- ADDITIONAL AND/OR ALTERNATIVE SEDIMENT AND EROSION CONTROL MEASURES MAY BE INSTALLED DURING THE CONSTRUCTION PERIOD IF FOUND NECESSARY BY THE CONTRACTOR, OWNER, SITE ENGINEER, TOWN OFFICIALS, OR ANY GOVERNING AGENCY. THE CONTRACTOR SHALL CONTACT THE OWNER AND APPROPRIATE GOVERNING AGENCIES FOR APPROVAL IF ALTERNATIVE CONTROLS OTHER THAN THOSE SHOWN ON THE PLANS ARE PROPOSED.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAIN A CT DEEP GENERAL PERMIT FOR THE DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES. THE PERMIT WILL REQUIRE SPECIFIC EROSION CONTROL INSPECTIONS.

Routine Inspections

The permittee shall routinely inspect the site for compliance with the general permit and the Plan for the site until a Notice of Termination has been submitted. Inspection procedures for these routine inspections shall be addressed and implemented in the following manner:

- The permittee shall maintain a rain gauge on-site to document rainfall amounts. At least once a week and within 24 hours of the end of a storm that generates a discharge, a qualified inspector (provided by the permittee), as defined in the "Definitions" section (Section 2) of the general permit, shall inspect, at a minimum, the following: disturbed areas of the construction activity that have not been finally stabilized; all erosion and sedimentation control measures; all structural control measures; soil stockpile areas; washout areas and locations where vehicles enter or exit the site. These areas shall be inspected for evidence of, or the potential for, pollutants entering the drainage system and impacts to the receiving waters. Locations where vehicles enter or exit the site shall also be inspected for evidence of off-site sediment tracking. For storms that end on a weekend, holiday or other time after which normal working hours will not commence within 24 hours, an inspection is required within 24 hours only for storms that equal or exceed 0.5 inches. For storms of less than 0.5 inches, an inspection shall occur immediately upon the start of the subsequent normal working hours. Where sites have been temporarily or finally stabilized, such inspection shall be conducted at least once every month for three months.

- The qualified inspector(s) shall evaluate the effectiveness of erosion and sediment controls, structural controls, stabilization practices, and any other controls implemented to prevent pollution and determine if it is necessary to install, maintain, or repair such controls and/or practices to improve the quality of stormwater discharge(s).

- A report shall be prepared and retained as part of the Plan, the report shall summarize: the scope of the inspection; name(s) and qualifications of personnel making the inspection; the date(s) of the inspection; weather conditions including precipitation information; major observations relating to erosion and sediment controls and the implementation of the Plan; a description of the stormwater discharge(s) from the site; and any water quality monitoring performed during the inspection. The report shall be signed by the permittee or his/her authorized representative in accordance with the "Certification of Documents" section (subsection 5(f)) of the general permit. The report shall include a statement that, in the judgment of the qualified inspector(s) conducting the site inspection, the site is either in compliance or out of compliance with the terms and conditions of the Plan and permit. If the site inspection indicates that the site is out of compliance, the inspection report shall include a summary of the remedial actions required to bring the site back into compliance. Non-engineered corrective actions (as identified in the Guidelines) shall be implemented on site within 24 hours and incorporated into a revised Plan within three (3) calendar days of the date of inspection unless another schedule is specified in the Guidelines. Engineered corrective actions (as identified in the Guidelines) shall be implemented on site within seven (7) days and incorporated into a revised Plan within ten (10) days of the date of inspection, unless another schedule is specified in the Guidelines or is approved by the commissioner. During the period in which any corrective actions are being developed and have not yet been fully implemented, interim measures shall be implemented to minimize the potential for the discharge of pollutants from the site.

- Inspectors from the DEEP and the appropriate District may inspect the site for compliance with the general permit at any time construction activities are ongoing and upon completion of construction activities to verify the final stabilization of the site and/or the installation of post-construction stormwater management measures pursuant to Section 6(a).

- Additional inspections, reports and documentation may also be required to comply with the "Monitoring Requirements" section (Section 5(c)).

- THE CONTRACTOR SHALL KEEP A SUPPLY OF EROSION CONTROL MATERIAL (SILT FENCE, JUTE MESH, ETC.) ON-SITE FOR MAINTENANCE AND EMERGENCY REPAIRS.

- PROTECT EXISTING TREES THAT ARE TO BE SAVED BY FENCING AT THE DRIP LINE OR AS SHOWN WITH SNOW FENCE, ORANGE SAFETY FENCE, OR EQUIVALENT FENCING. ANY LIMB TRIMMING SHOULD BE DONE BEFORE CONSTRUCTION BEGINS IN THAT AREA; FENCING SHALL BE MAINTAINED AND REPAIRED DURING CONSTRUCTION.

- INSTALL PERIMETER SEDIMENT CONTROLS PRIOR TO CLEARING OR CONSTRUCTION. ALL CONSTRUCTION SHALL BE CONTAINED WITHIN THE LIMIT OF DISTURBANCE, WHICH SHALL BE MARKED WITH SILT FENCE, SAFETY FENCE, RIBBONS, OR OTHER MEANS PRIOR TO CLEARING. CONSTRUCTION ACTIVITY SHALL REMAIN ON THE UPHILL SIDE OF THE SILT FENCE UNLESS WORK IS SPECIFICALLY CALLED FOR ON THE DOWNHILL SIDE OF THE FENCE.

- ANTI-TRACKING PADS SHALL BE INSTALLED AT START OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION. THE LOCATION OF THE TRACKING PADS MAY CHANGE AS VARIOUS PHASES OF CONSTRUCTION ARE COMPLETED.

- TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING. ALL EARTH STOCKPILES SHALL HAVE SILT FENCE AROUND THE LIMIT OF PILE. PILES SHALL BE TEMPORARILY SEEDED IF PILE IS TO REMAIN IN PLACE FOR MORE THAN 2 MONTHS.

- SEDIMENTATION BASINS SHALL PROVIDE 134 CUBIC YARDS OF SEDIMENT STORAGE PER DISTURBED ACRE CONTRIBUTING TO THE BASIN. PROVIDE BASIN VOLUMES FOR ALL DISTURBANCE ON SITE.

- COMPLY WITH REQUIREMENTS OF CGS SECTION 22A, 430B FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES AND WITH DEEP RECORD KEEPING AND INSPECTION REQUIREMENTS.

- MINIMIZE LAND DISTURBANCES. SEED AND MULCH DISTURBED AREAS WITH TEMPORARY MIX AS SOON AS PRACTICABLE (2 WEEK MAXIMUM UNSTABILIZED PERIOD) USING PERENNIAL RYEGRASS AT 40 LBS PER ACRE. MULCH ALL CUT AND FILL SLOPES AND SWALES WITH LOOSE HAY AT A RATE OF 2 TONS PER ACRE. IF NECESSARY, REPLACE LOOSE HAY ON SLOPES WITH EROSION CONTROL BLANKETS OR JUTE CLOTH. MODERATELY GRADED AREAS, ISLANDS, AND TEMPORARY CONSTRUCTION STAGING AREAS MAY BE HYDROSEEDED WITH TACKIFIER.

- SILT FENCE AND OTHER SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH DRAWINGS AND MANUFACTURER'S RECOMMENDATIONS PRIOR TO WORK IN ANY UPLAND AREAS.

- EXCAVATED MATERIAL FROM TEMPORARY SEDIMENT TRAPS MUST BE STOCKPILED ON UPHILL SIDE OF SILT FENCE.

- INSTALL SILT FENCE ACCORDING TO MANUFACTURER'S INSTRUCTION, PARTICULARLY, BURY LOWER EDGE OF FABRIC INTO GROUND. SILT FENCE SHALL BE MIRAFI ENVIROFENCE, AMOCO SILT STOP OR EQUIVALENT APPROVED BY SITE ENGINEER. FILTER FABRIC USED SHALL BE MIRAFI 100X OR EQUIVALENT.

- INSTALL TEMPORARY DIVERSION DITCHES, PLUNGE POOLS, SEDIMENT BASINS, SEDIMENT TRAPS AND DEWATERING PITS AS SHOWN AND AS NECESSARY DURING CONSTRUCTION TO CONTROL RUNOFF UNTIL UPHILL AREAS ARE STABILIZED. LOCATION OF TEMPORARY SEDIMENT BASINS WILL REQUIRE REVIEW AND APPROVAL BY THE ENGINEER AND GOVERNING OFFICIAL.

- DIRECT ALL DEWATERING PUMP DISCHARGE TO A SEDIMENT CONTROL DEVICE SUCH AS TEMPORARY PITS, SEDIMENT BASINS OR GRASS FILTERS WITHIN THE APPROVED LIMIT OF DISTURBANCE. DISCHARGE TO STORM SEWERS OR SURFACE WATERS FROM SEDIMENT CONTROLS SHALL BE CLEAR.

- BLOCK THE OPEN UPSTREAM ENDS OF DETENTION PIPE SYSTEM OUTLET CONTROL ORIFICE UNTIL SITE IS STABILIZED AND BLOCK END OF STORM SEWERS IN EXPOSED TRENCHES WITH BOARDS AND SANDBAGS AT THE END OF EACH WORKING DAY WHEN RAIN IS EXPECTED.

- SWEEP AFFECTED PORTIONS OF OFF SITE ROADS ONE OR MORE TIMES A DAY (OR LESS FREQUENTLY IF TRACKING IS NOT A PROBLEM) DURING CONSTRUCTION. OTHER DUST CONTROL MEASURES TO BE USED AS NECESSARY INCLUDES WATERING DOWN DISTURBED AREAS, USING CALCIUM CHLORIDE, AND COVERING LOADS ON DUMP TRUCKS.

- PERIODICALLY CHECK ACCUMULATED SEDIMENT LEVELS IN THE SEDIMENT TRAPS DURING CONSTRUCTION AND CLEAN ACCUMULATED SILT WHEN NECESSARY OR WHEN ONE FOOT OF SEDIMENT HAS ACCUMULATED. CLEAN ACCUMULATED SEDIMENT FROM CATCH BASIN SUMPS AS NECESSARY. REMOVE ACCUMULATED SEDIMENT FROM BEHIND SILT FENCE WHEN LEVEL REACHES HALF THE HEIGHT OF THE FENCE. DISPOSE OF SEDIMENT LEGALLY EITHER ON SITE IN NON-WETLANDS AREAS.

- MAINTAIN ALL PERMANENT AND TEMPORARY SEDIMENT CONTROL DEVICES IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. UPON COMPLETION OF WORK SWEEP PARKING LOT AND REMOVE ALL TEMPORARY SEDIMENT CONTROLS WHEN AUTHORIZED BY LOCAL GOVERNING AUTHORITY.

- THE PARTY RESPONSIBLE FOR THE EROSION AND SEDIMENT CONTROL MEASURES IS:

AYR WELLNESS
2601 SOUTH BAYSHORE DRIVE, SUITE 900
MIAMI, FLORIDA 33133
PHONE: 413-275-8334

- IF WIND EROSION OCCURS, THEN GROUND SHALL BE COVERED WITH CALCIUM CHLORIDE OR WATER TRACK APPLICATIONS AS REQUIRED TO CORRECT THE PROBLEM.

SCALE: 1"=50'	CHECKED BY: JPC
DATE: MAY 12, 2023	DRAWN BY: JMP
JOB No.: 3418	ACAD FILE: 3418-ES-NOTES
SHEET: 7	OF: 12
REVISIONS: 06/02/23 PER DRAINAGE REPORT 07/01/23 REVISED LAYOUT 08/01/23 UPDATE FOR P&Z	




HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROWELL, CONNECTICUT 06416
PHONE: (860) 529-6812. FAX: (860) 721-7709

EROSION & SEDIMENT CONTROL NOTES

PREPARED FOR:
AYR WELLNESS

PROPERTY LOCATED AT:
101 GRANBY STREET & TOBEY STREET
BLOOMFIELD, CONNECTICUT



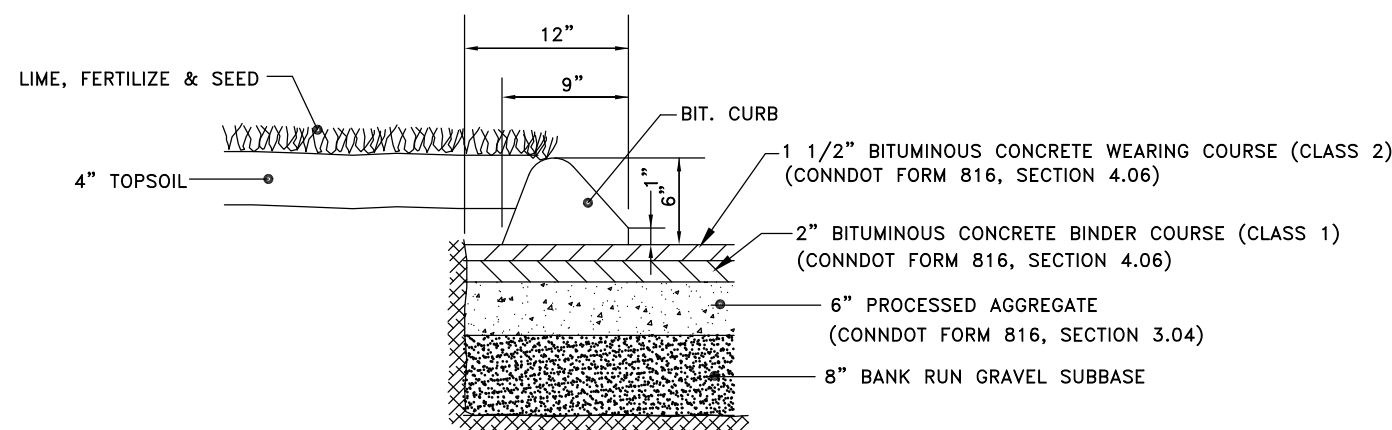
STATE OF CONNECTICUT
JAMES P. CASSIDY
NO. 20665
LICENSED PROFESSIONAL ENGINEER

12/01/23 UPDATED BUILDING FOOTPRINT
02/07/25 FEE CONDITIONS OF APPROVAL



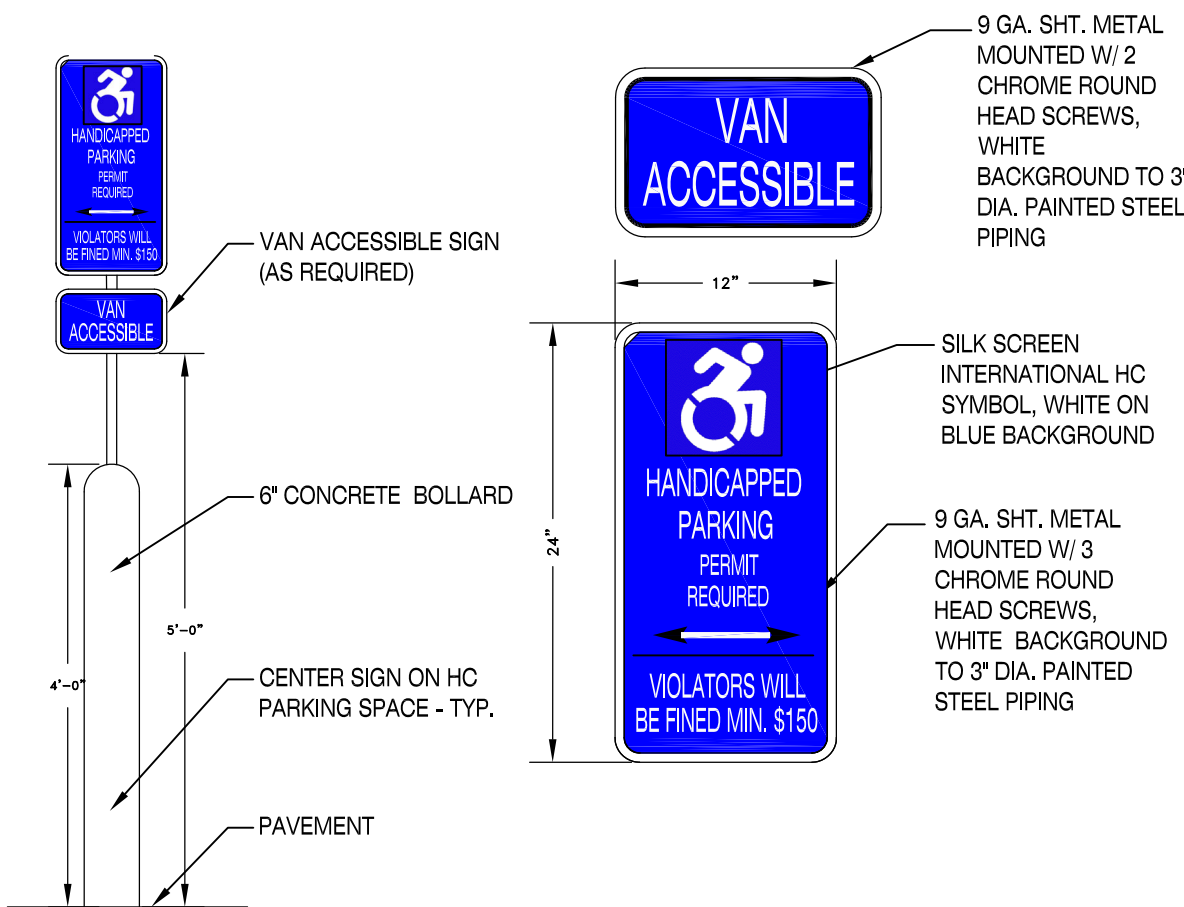
HANDICAPPED ACCESSIBLE PARKING SYMBOL

NO SCALE



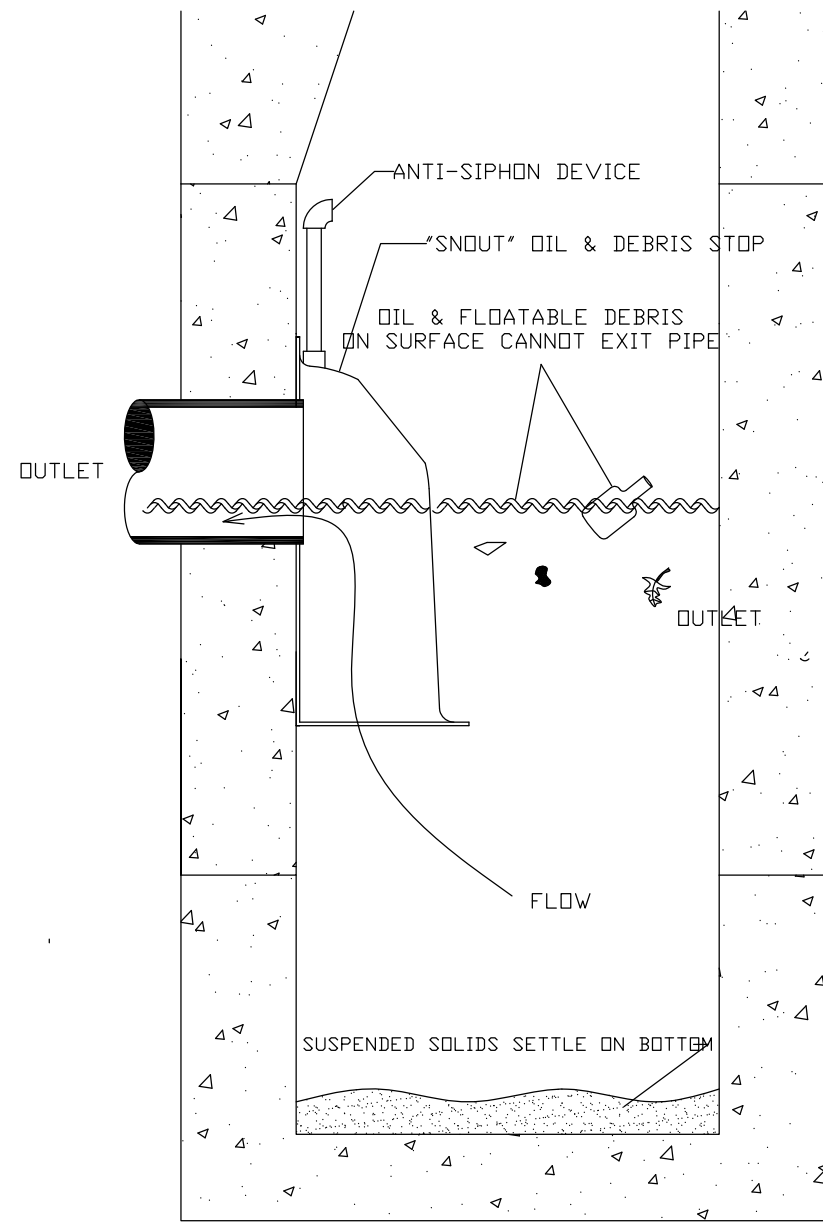
BITUMINOUS CONCRETE PAVEMENT PARKING AREA SPACES (STANDARD DUTY)

N.T.S.



HANDICAPPED PARKING SIGN DETAIL

NO SCALE



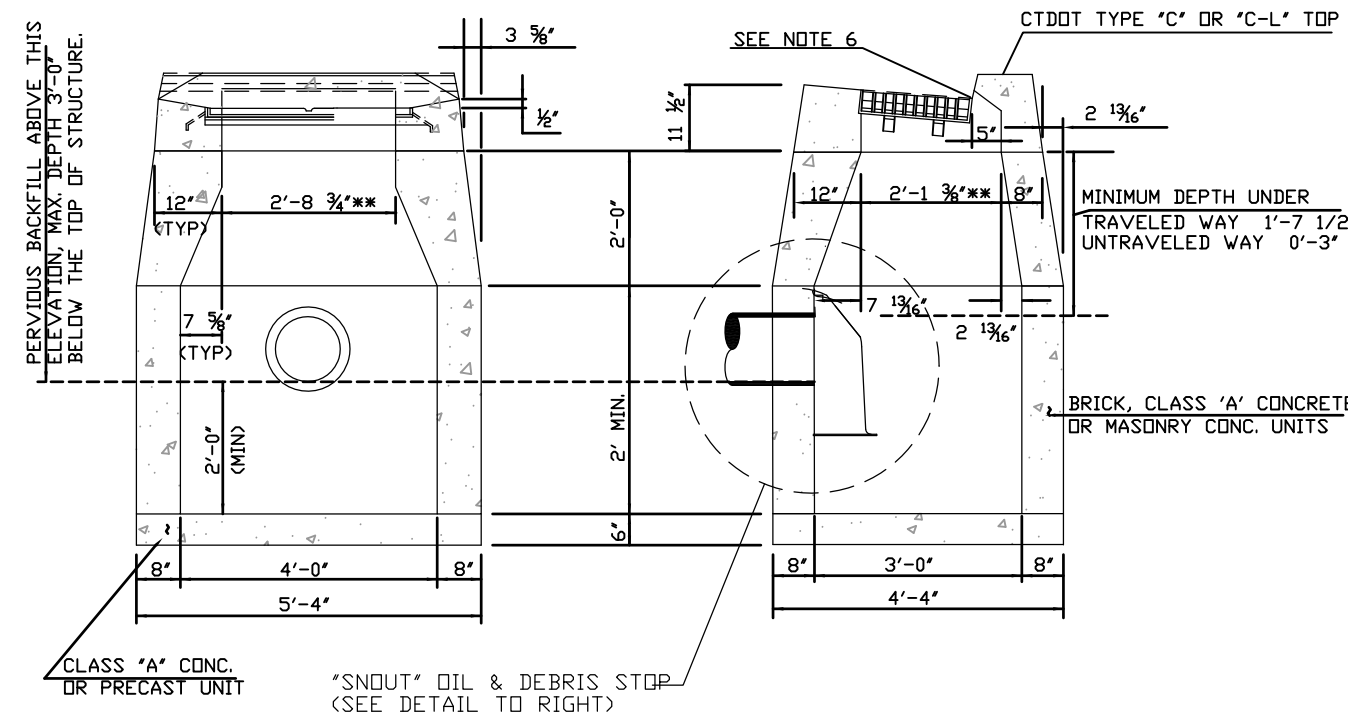
SNOUT CATCH BASIN INSTALLATION (TYPICAL)

POST CONSTRUCTION STORM WATER POLLUTION MAINTENANCE

RESPONSIBLE PARTIES AND STORMWATER MANAGEMENT SYSTEM OWNER:

AYR WELLNESS
2801 SOUTH BAYSHORE DRIVE, SUITE 900
MIAMI, FLORIDA 33133
PHONE: 431-275-8334

CATCH BASINS: CATCH BASINS SHALL BE INSPECTED ON A REGULAR BASIS (AT LEAST TWICE PER YEAR) AND ANY SEDIMENT, OILS & FLOATABLES WILL BE REMOVED AS NECESSARY (A MINIMUM OF ONCE A YEAR TO ENSURE FUNCTIONING OF THE SYSTEM, UTILIZING A VACUUM TRUCK)

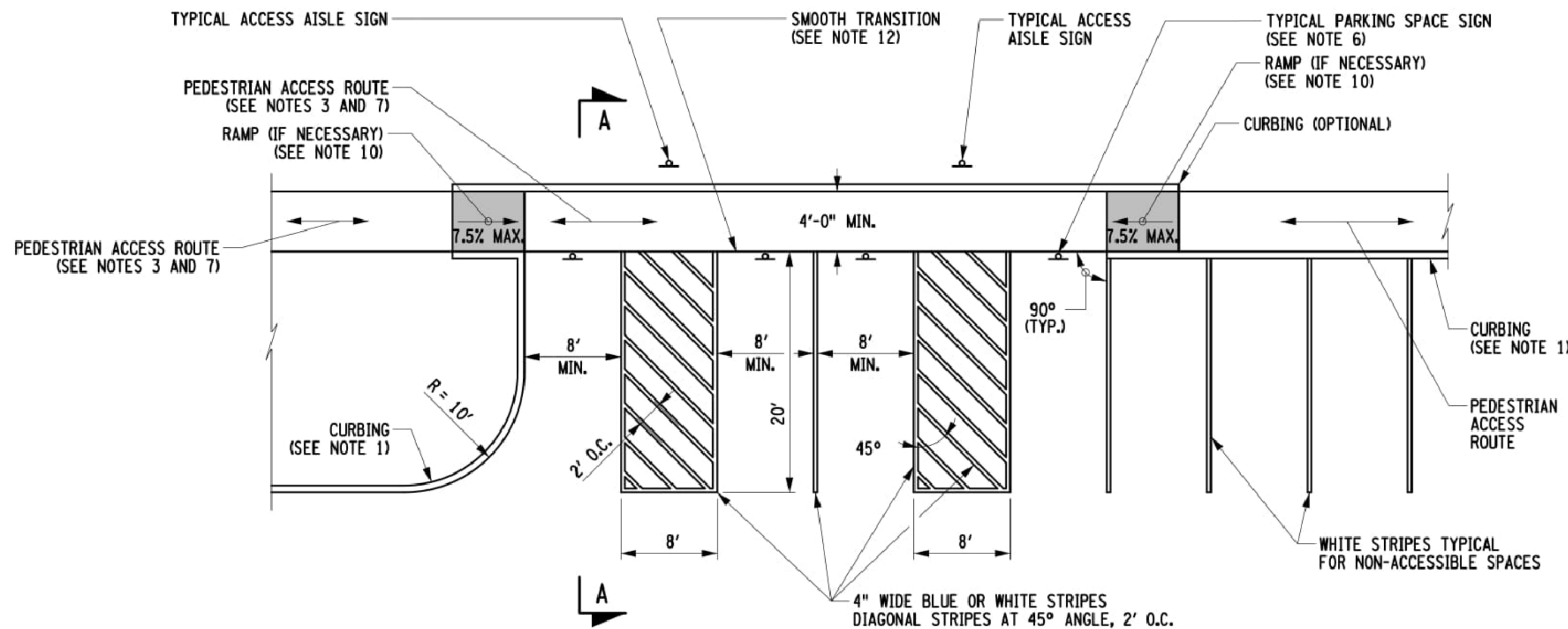


NOTES:

- 1) WALLS OF ALL CATCH BASINS OVER 10 FT. DEEP SHALL BE INCREASED TO 12" THICKNESS. INSIDE DIMENSIONS SHALL REMAIN THE SAME.
- 2) PROVIDE DRAINAGE OPENING IN EACH WALL AT LOWEST INVERT ELEVATION.
- 3) WHERE BRICK OR MASONRY CONCRETE UNITS ARE USED, CORRELLING WILL BE PERMITTED. MAXIMUM CORREL SHALL BE 3". NO PROJECTION SHALL EXTEND INSIDE OF LIMITS NOTED BY **.
- 4) PRECAST CONCRETE CATCH BASIN UNITS MAY BE USED, AS DESCRIBED IN THE STANDARD SPECIFICATIONS.
- 5) WHERE PRECAST CONCRETE UNIT IS USED FOR THE SUMP, THE TOP OF THE UNIT SHALL BE AT LEAST 6" BELOW THE BOTTOM OF THE PIPE OUTLET FROM THE CATCH BASIN.
- 6) TOP OF FRAME ELEVATION SHALL BE DEPRESSURED 1' BELOW NORMAL GUTTER GRADE.
- 7) PROVIDE 6"(MIN) GRANULAR FILL UNDER STRUCTURE TO REPLACE UNSUITABLE MATERIAL.

TYPICAL CATCH BASIN

NOT TO SCALE



TYPICAL ACCESSIBLE PARKING LOT LAYOUT

NOTES:

1. THIS SHEET IS INTENDED TO DEPICT THE DIMENSIONAL REQUIREMENTS OF TYPICAL ACCESSIBLE PARKING LOT SPACES, THE SIDEWALK, CURBING, AND PAVEMENT MATERIALS SHALL BE AS SPECIFIED ELSEWHERE IN THE CONTRACT DOCUMENTS.

2. MINIMUM NUMBER OF ACCESSIBLE SPACES:

TOTAL SPACES IN LOT	MINIMUM NUMBER OF ACCESSIBLE SPACES	TOTAL SPACES IN LOT	MINIMUM NUMBER OF ACCESSIBLE SPACES
1 TO 25	1	201 TO 300	7
26 TO 50	2	301 TO 400	8
51 TO 75	3	401 TO 500	9
75 TO 100	4	501 TO 1,000	2% OF TOTAL
101 TO 150	5	1,001 AND OVER	20, PLUS ONE FOR EACH 100, OR FRACTION THEREOF, OVER 1,000
151 TO 200	6		

EXCEPTION: PARKING AREAS ON THE PREMISES OF, OR IMMEDIATELY ADJACENT TO, MEDICAL SERVICES FACILITIES PROVIDING TREATMENT FOR MOBILITY IMPAIRED PERSONS AND OTHER SIMILAR LOCATIONS MAY REQUIRE A GREATER NUMBER OF ACCESSIBLE PARKING SPACES THAN INDICATED ABOVE. REFER TO THE APPLICABLE ACCESSIBILITY STANDARD.

3. LOCATION - PARKING SPACES FOR USE BY PERSONS WITH DISABILITIES SHALL BE IN THE SPACES CLOSEST TO THE NEAREST ACCESSIBLE BUILDING OR FACILITY ENTRANCE ON AN ACCESSIBLE ROUTE.

4. DIMENSIONS - ACCESSIBLE PARKING SPACES SHALL BE AT LEAST 8' WIDE AND SHALL HAVE AN ADJACENT ACCESS AISLE 8' WIDE MEASURED PERPENDICULAR TO THE STALL STRIPE TO ACCOMMODATE VANS WITH LIFTS.

5. COMMON ACCESS AISLES FOR 90° PARKING - TWO ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE FOR ACUTE ANGLED PARKING, SUCH AS 60° PARKING, OR WHERE ONE WAY DRIVEWAY AISLES WOULD PREVENT VANS WITH PASSENGER SIDE LIFTS FROM BACKING INTO ACCESSIBLE SPACES. AN ACCESSIBLE ACCESS AISLE MUST BE PROVIDED FOR EACH ACCESSIBLE PARKING SPACE. WIDTH OF ACCESS AISLES AND PARKING SPACES ARE MEASURED PERPENDICULAR TO THE STRIPING.

6. SIGNING - EACH ACCESSIBLE PARKING SPACE SHALL BE MARKED BY PERMANENTLY INSTALLED GROUND MOUNTED SIGNS WHICH DISPLAY THE INTERNATIONAL SYMBOL FOR ACCESS. EACH ACCESS AISLE SHALL BE MARKED BY PERMANENTLY INSTALLED GROUND MOUNTED SIGNS INDICATING THAT STOPPING IS NOT PERMITTED IN THE AISLE. SIGNS SHALL NOT BLOCK THE ACCESSIBLE CLEAR WIDTH OF ADJACENT WALKWAYS. SIGNS LOCATED WHERE THEY MAY BE HIT BY VEHICLES BEING PARKED SHALL BE INSTALLED AS SHOWN IN THE POST BASE DETAIL. THE BOTTOMS OF THE SIGNS LOCATED ON POSTS INSTALLED IN PAVED AREAS SHALL BE 7" MINIMUM ABOVE THE WALKWAY SURFACE. THE BOTTOMS OF SIGNS LOCATED IN UNPAVED AREAS SHALL BE 7" MINIMUM ABOVE THE PAVEMENT SURFACE.

7. SURFACE SLOPES - SLOPES AT ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND ADJOINING WALKWAYS SHALL NOT EXCEED 1.5% MAXIMUM IN ANY DIRECTION FOR DESIGN AND LAYOUT, AND 2.0% MAXIMUM FOR WORK ACCEPTANCE, WHILE PROVIDING POSITIVE DRAINAGE.

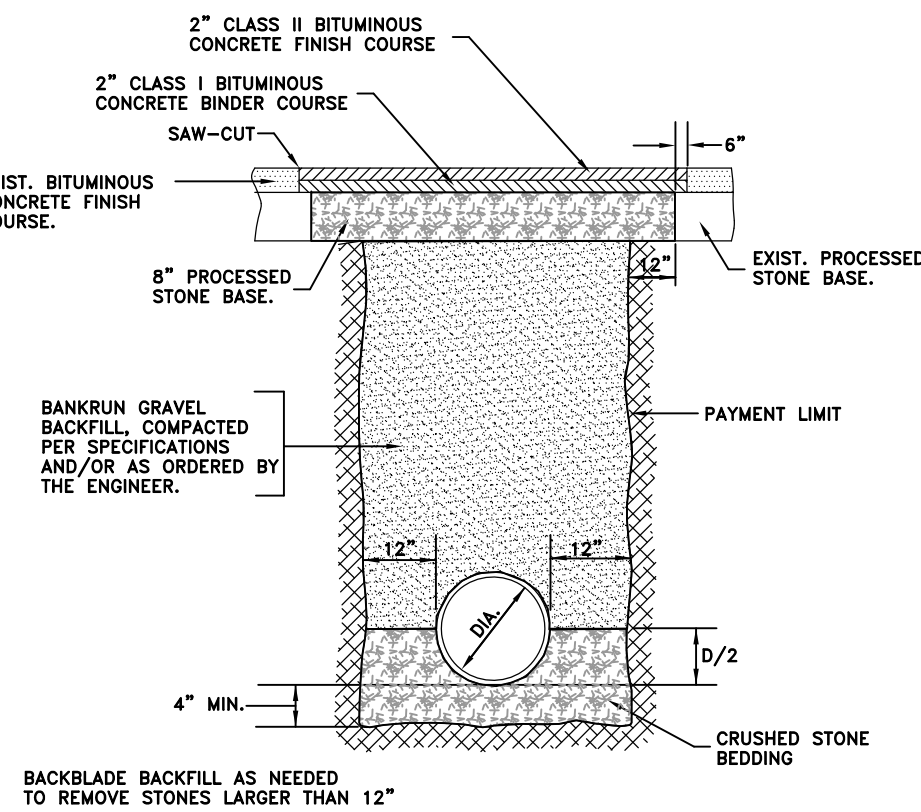
8. OVERHEAD CLEARANCE - VEHICLE ACCESS ROUTES TO AND FROM ACCESSIBLE PARKING SPACES, INCLUDING IN GARAGES AND OPEN PARKING STRUCTURES, SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 8'-2".

9. PAVEMENT MARKING COLORS - REQUIRED ACCESSIBLE PARKING SPACE AND ACCESS AISLE STRIPING AND OTHER OPTIONAL PAVEMENT MARKINGS, SUCH AS THE INTERNATIONAL ACCESS SYMBOL, SHALL BE PAINTED WHITE OR BLUE.

10. REFER TO STANDARD SHEETS 608-01 TITLED "SIDEWALK AND CURB RAMP DETAILS" FOR CURB RAMP REQUIREMENTS. DETECTABLE WARNING SURFACES ARE NOT REQUIRED.

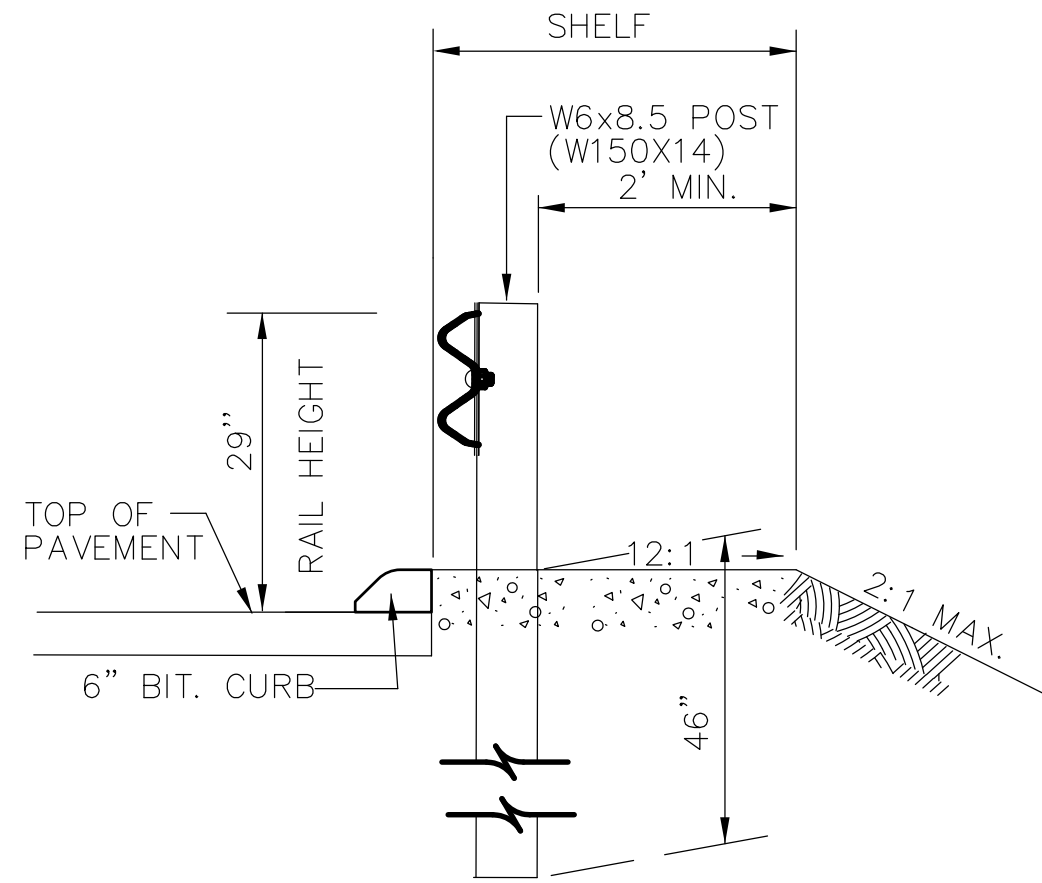
11. A SMOOTH, FLUSH TRANSITION MUST BE PROVIDED BETWEEN ALL PEDESTRIAN WALKWAYS, ACCESSIBLE PARKING SPACES AND AISLES.

12. WHERE A CHANGE IN DIRECTION IS REQUIRED TO UTILIZE A CURB RAMP, A TURNING SPACE 4'-0" x 4'-0" MINIMUM SHALL BE PROVIDED AT THE BASE OR THE TOP OF CURB RAMP, AS APPLICABLE. THE CROSS SLOPE OF TURNING SPACES SHALL NOT EXCEED 1.5% IN ANY DIRECTION FOR DESIGN AND LAYOUT, AND 2.0% FOR WORK ACCEPTANCE, WHILE PROVIDING POSITIVE DRAINAGE.



TYPICAL STORM TRENCH CROSS SECTION

N.T.S.



CURB APPLICATION

NO SCALE

SITE DETAILS

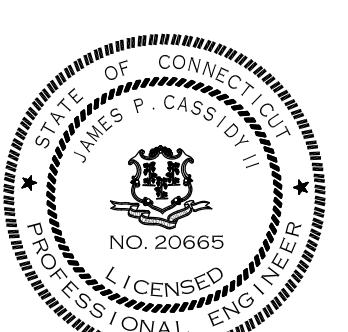
PREPARED FOR:

AYR WELLNESS

PROPERTY LOCATED AT:

101 GRANBY STREET & TOBEY STREET

BLOOMFIELD, CONNECTICUT



HALLISEY, PEARSON & CASSIDY

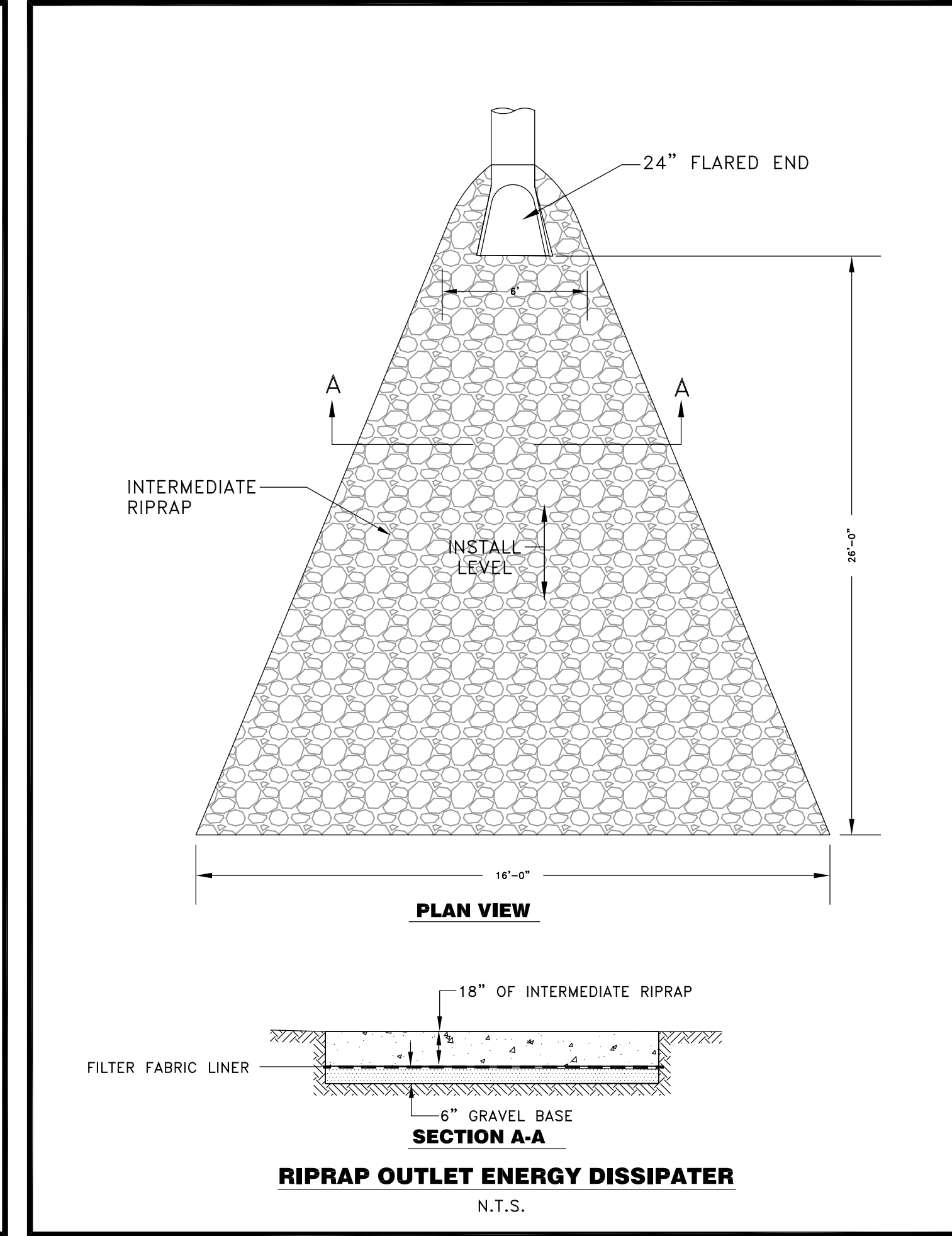
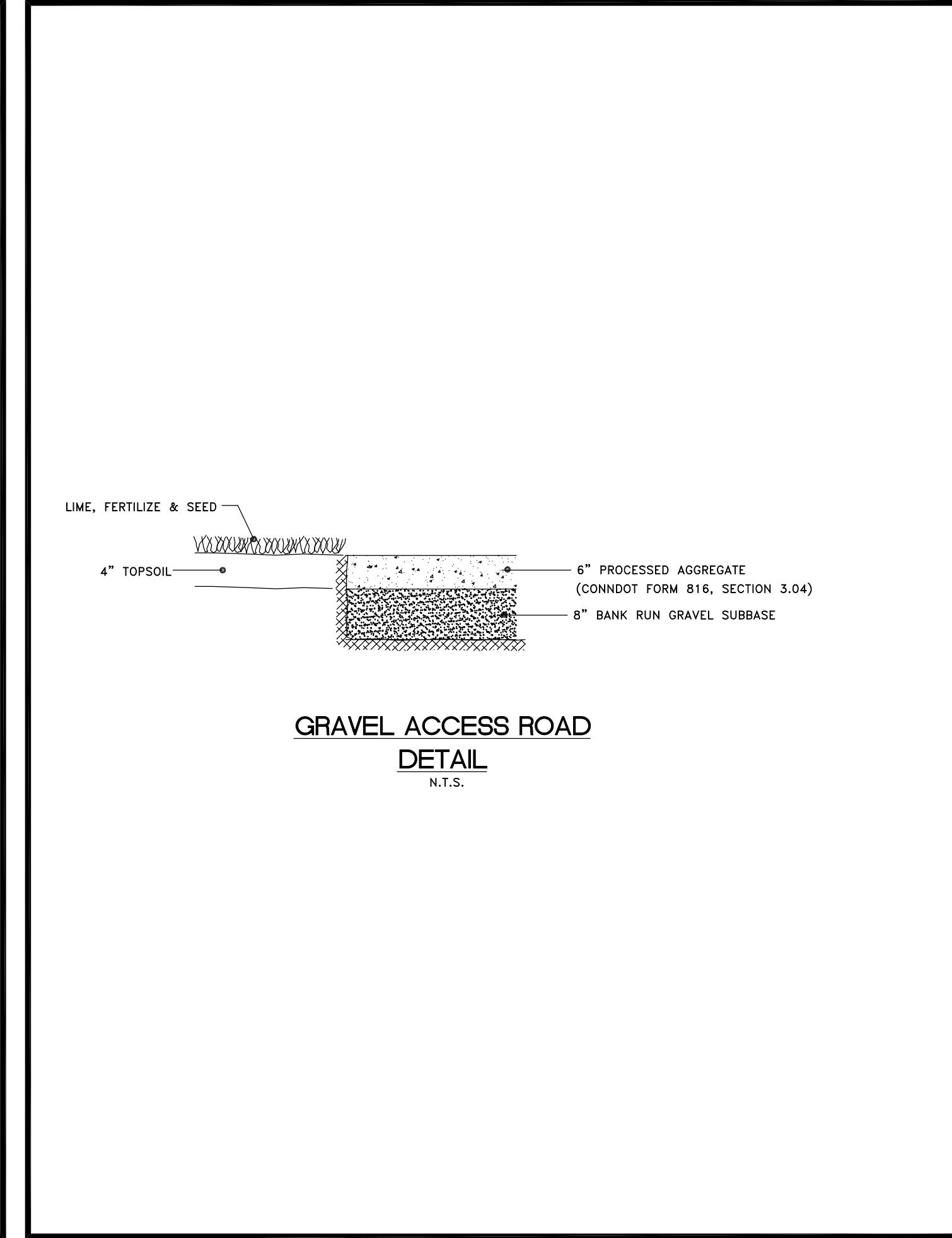
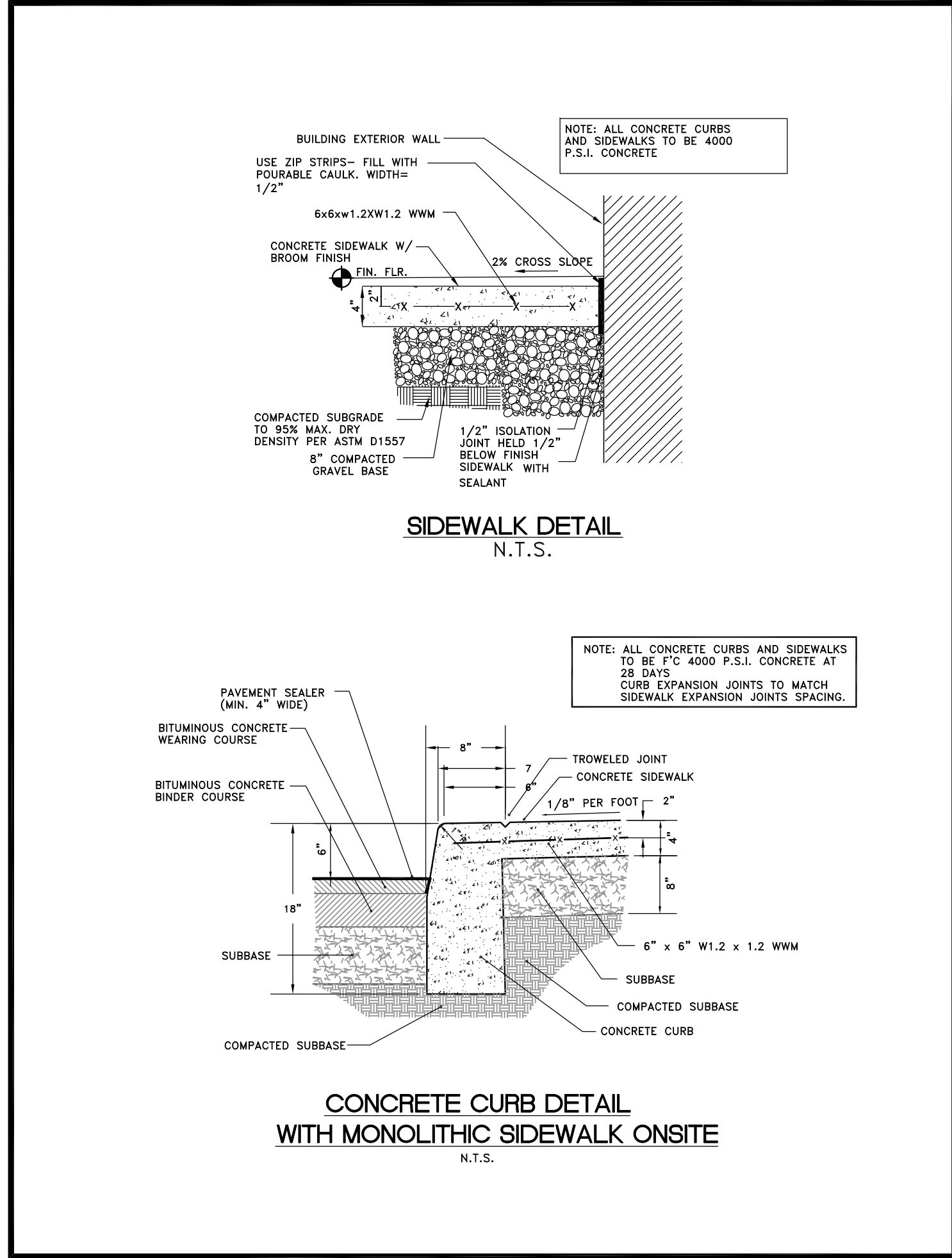
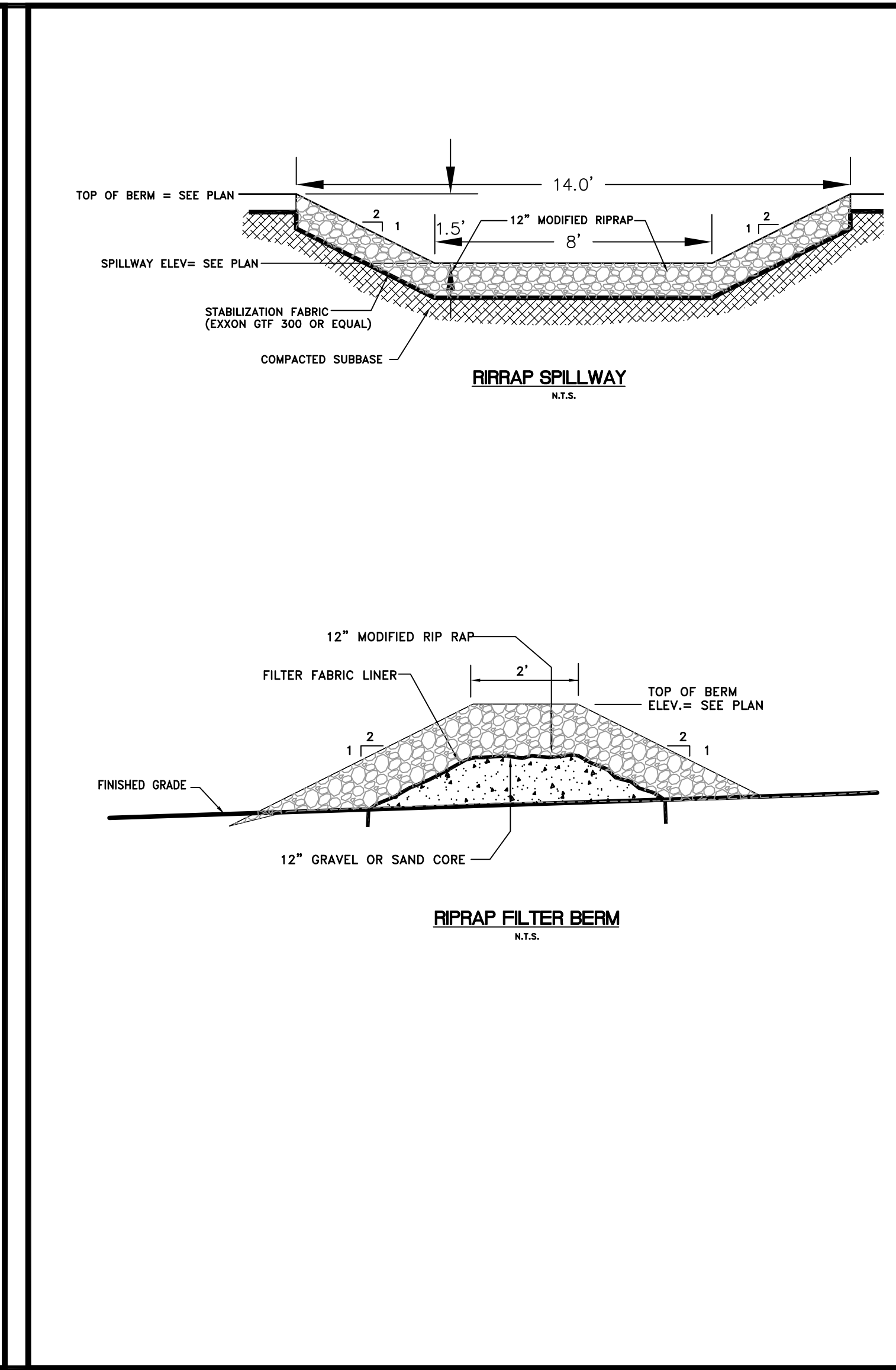
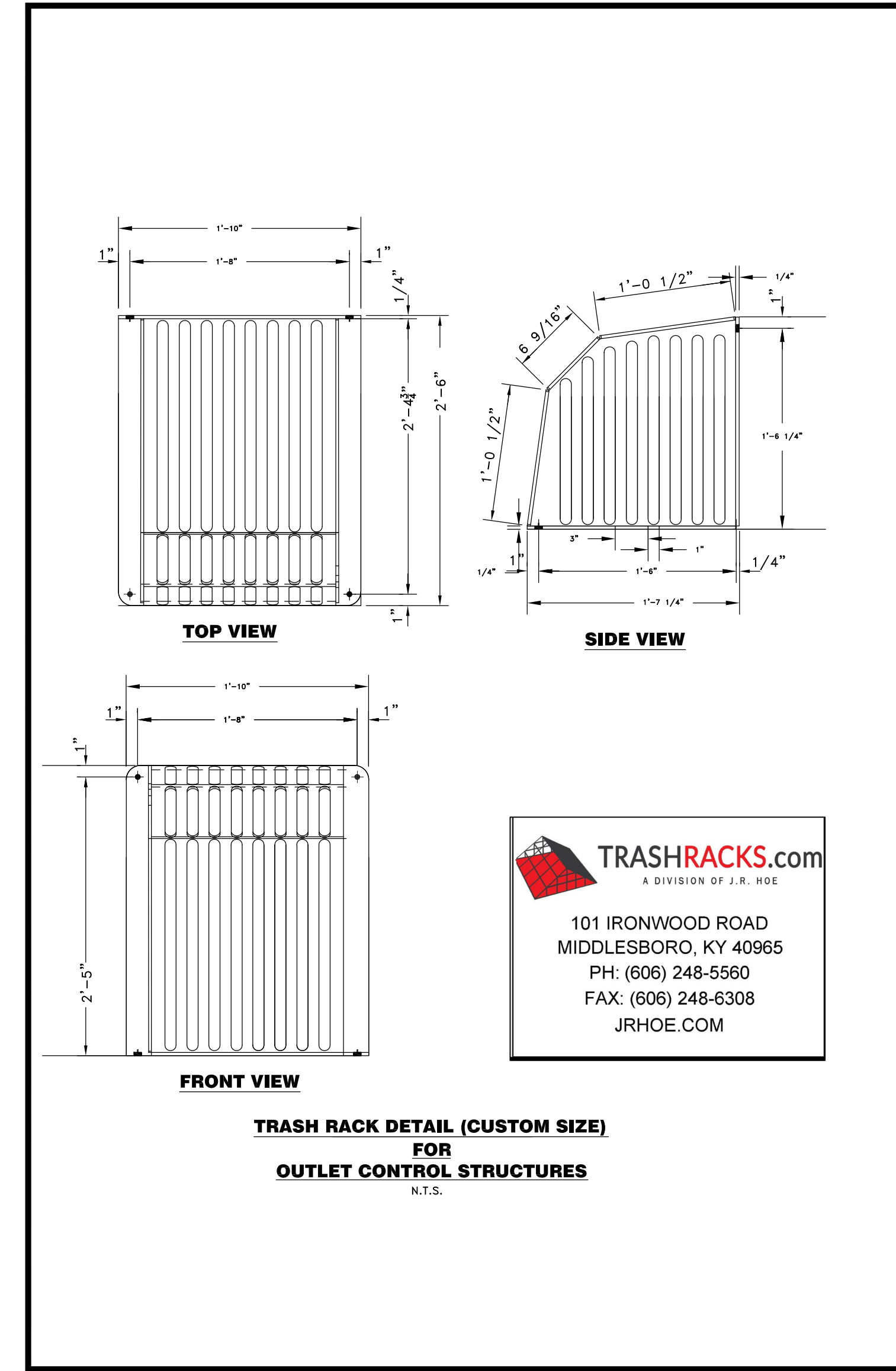
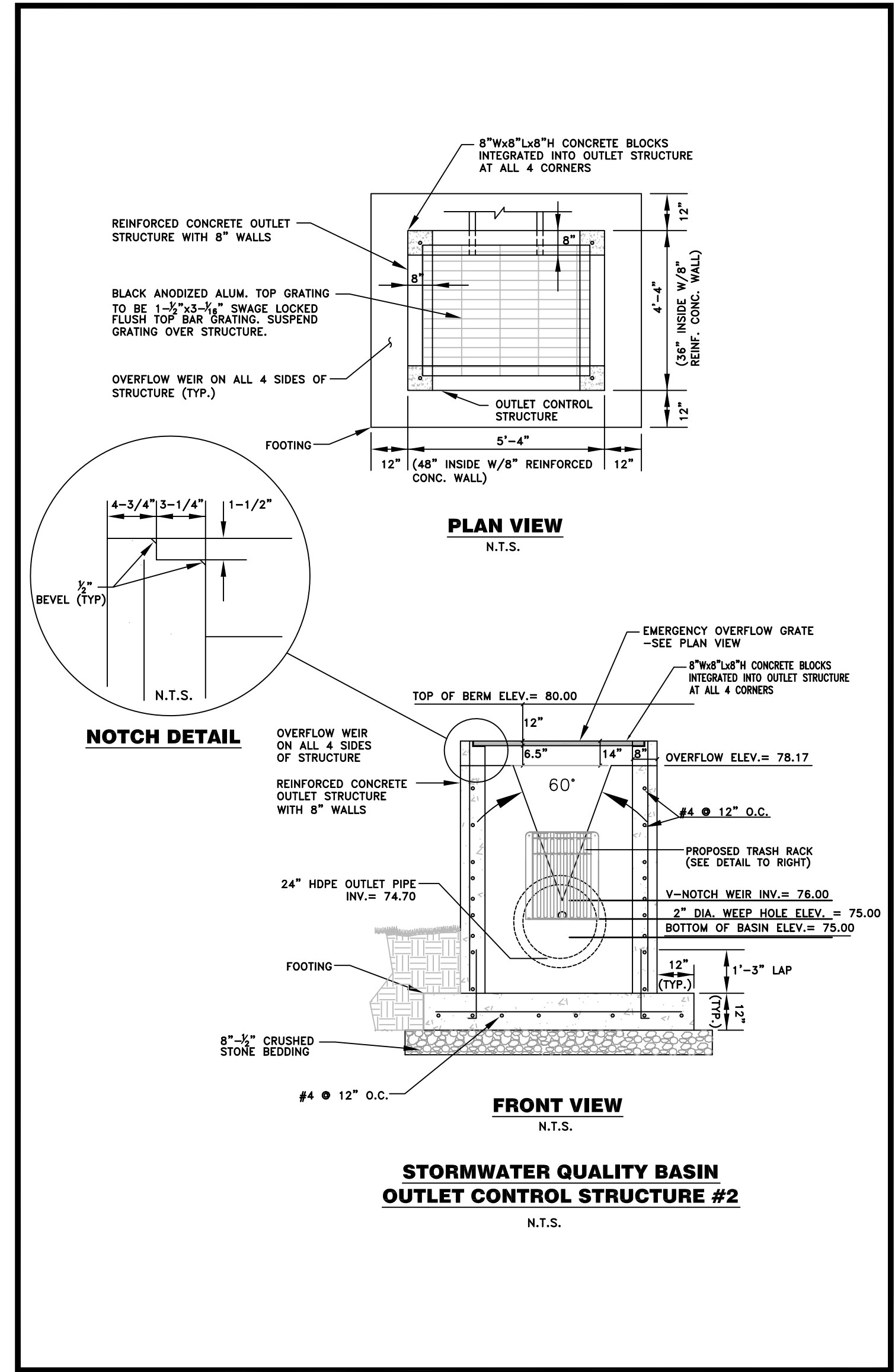
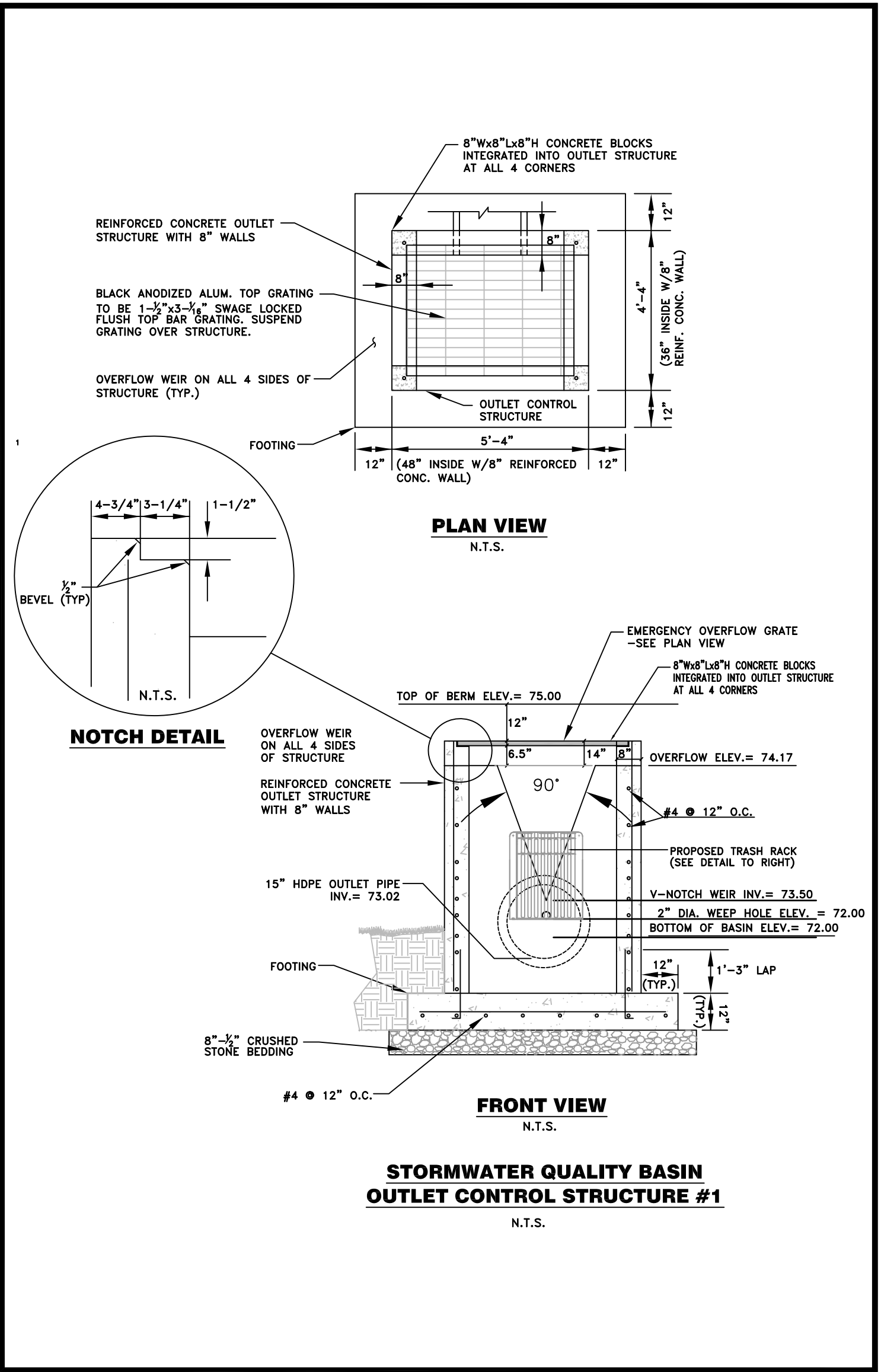
CIVIL ENGINEERS & LAND SURVEYORS

630 MAIN STREET, UNIT #1A

CROWELL, CONNECTICUT 06416

PHONE: (860)-529-6812. FAX: (860)-721-7709

SCALE: 1"=30'	CHECKED BY: JPC
DATE: MAY 12, 2023	DRAWN BY: JMP
JOB No.: 3418	ACAD FILE: 3418-DET
SHEET: 9	OF: 12
REVISIONS:	PER DRAINAGE REPORT
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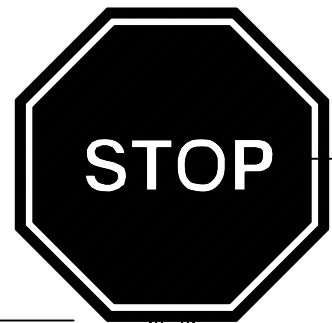


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DRAWN BY: JMP	DATE: MAY 12, 2023
ACAD FILE: 3418-DET	JOB No.: 3418
SHEET: 10 OF 12	REVISIONS: 06/02/23 PER DRAINAGE REPORT 07/07/23 REVISED LAYOUT 08/01/23 UPDATE FOR P&Z
12/01/23 UPDATED BUILDING FOOTPRINT 02/07/25 PER CONDITIONS OF APPROVAL	

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROWELL, CONNECTICUT 06416
PHONE: (860) 529-6812, FAX: (860) 721-7709

**SITE DETAILS
PREPARED FOR:
AYR WELLNESS
PROPERTY LOCATED AT:
101 GRANBY STREET & TOBEY STREET
BLOOMFIELD, CONNECTICUT**

**STATE OF CONNECTICUT
JAMES P. CASSIDY
NO. 20665
PROFESSIONAL ENGINEER**



—(R1-1) 30" OCTIGON SIGN. WHITE IMAGE
ON RED. SUBMIT ANCHORING
HARDWARE FOR APPROVAL.

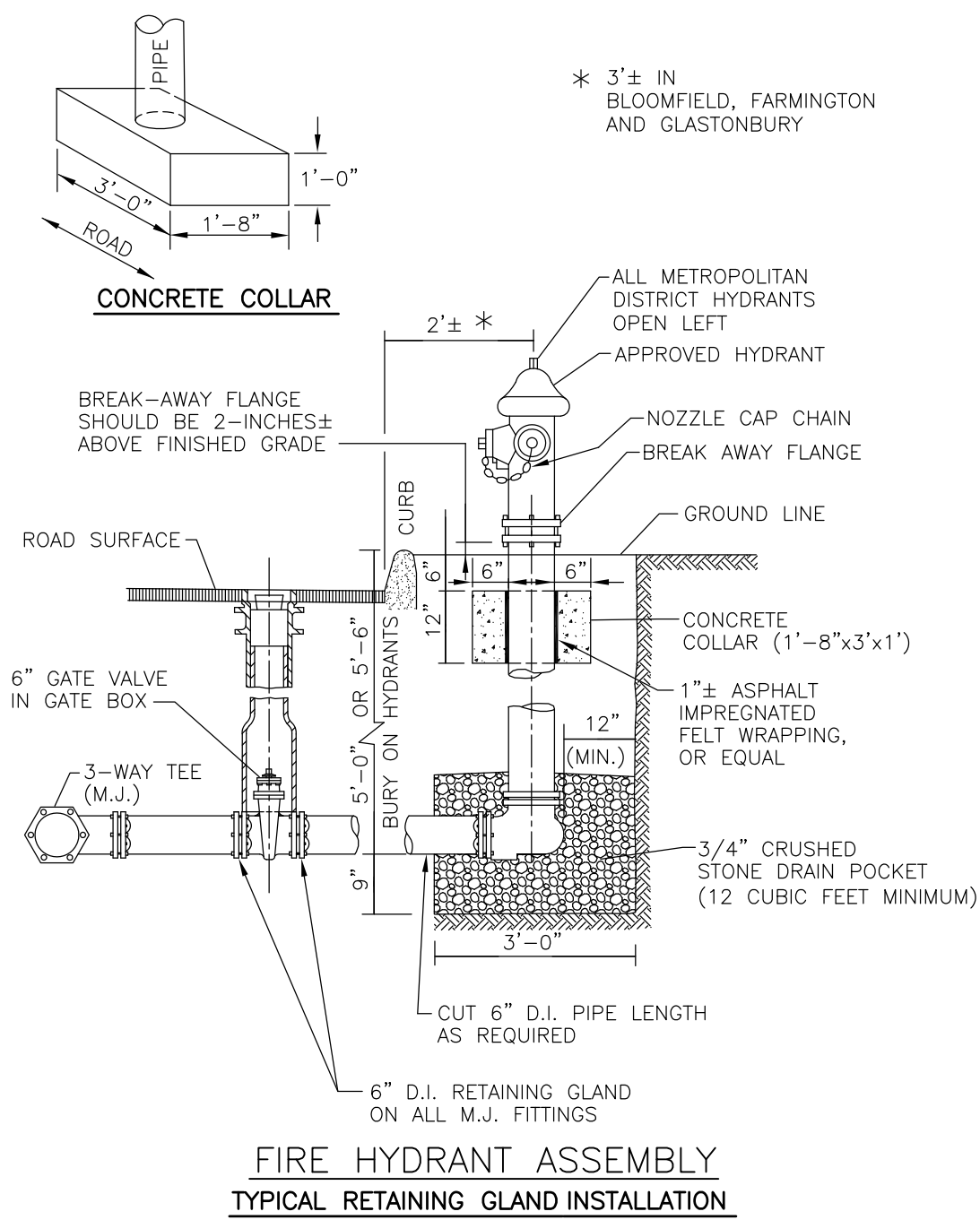
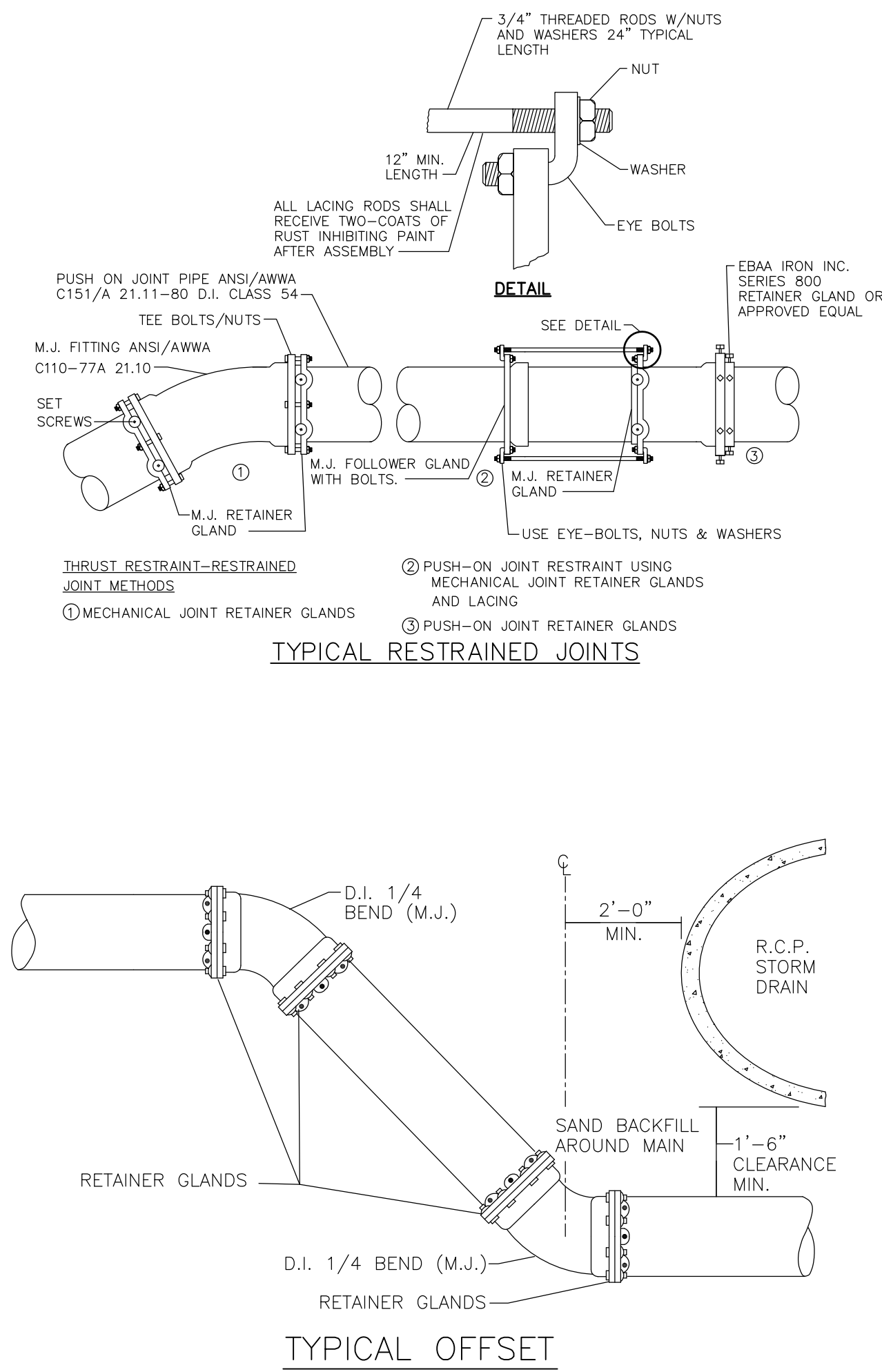
lbs./ft. BREAK AWAY TYPE II POST

FINISHED GRADE

STOP SIGNAGE DETAIL
N.T.S.

BREAKAWAY TYPE II
POST INSTALLATION DETAIL
NT8

- GENERAL NOTES:
1. STEEL FOR DELINEATOR POST SHALL BE ASTM A586/A586M (C) STEEL. ALL OTHER POSTS SHALL CONFORM TO THE MECHANICAL REQUIREMENTS OF ASTM A 499 GRADE 80. ALL CHAINS SHALL MEET THE REQUIREMENTS OF ASTM A1 CARBON STEEL RAIL HAVING NOMINAL WEIGHT 13.5 LBS PER FOOT (6.1 kg/m) WITH 1/2" (12.7 mm) END ROUNDS AND (METRIC).
 2. AFTER FABRICATION, ALL STEEL POSTS, TRAPS AND PLATES SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A123/A123M.
 3. WASHERS FOR BREAKAWAY INSTALLATIONS SHALL MEET ASTM F436, TYPE 1.
 4. ALL BOLTS, NUTS, AND WASHERS FOR BREAKAWAY INSTALLATIONS SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A153/A153M.
 5. ALL SIGN POST SHALL HAVE BREAKAWAY FEATURES TO MEET ASHTO REQUIREMENTS FOR BREAKAWAY. BREAKAWAY FEATURES SHALL BE PROVIDED FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINAIRES AND "TRAFFIC SIGNALS". THE BREAKAWAY FEATURES SHALL BE STRUCTURALLY ADAPTED TO CARRY THE WEIGHT OF THE PLATE AT 120 LBS (54 kg) PER 127 mm LONG. INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 6. TYPE A POST = 3 lbs./ft. (4.5 kg/m) TYPE B POST = 4 lbs./ft. (6 kg./m).



SCALE: 1"=30'	CHECKED BY: JPC
DATE: MAY 12, 2023	DRAWN BY: JMP
JOB No.: 3418	ACAD FILE: 3418--DET
SHEET: 11	OF: 12
REVISIONS:	
06/02/23	PER DRAINAGE REPORT
07/07/23	REVISED LAYOUT
08/01/23	UPDATE FOR PAZ
12/01/23 UPDATED BUILDING FOOTPRINT	
02/07/23 PER CONDITIONS OF APPROVAL	

HALLISEY, PEARSON & CASSIDY

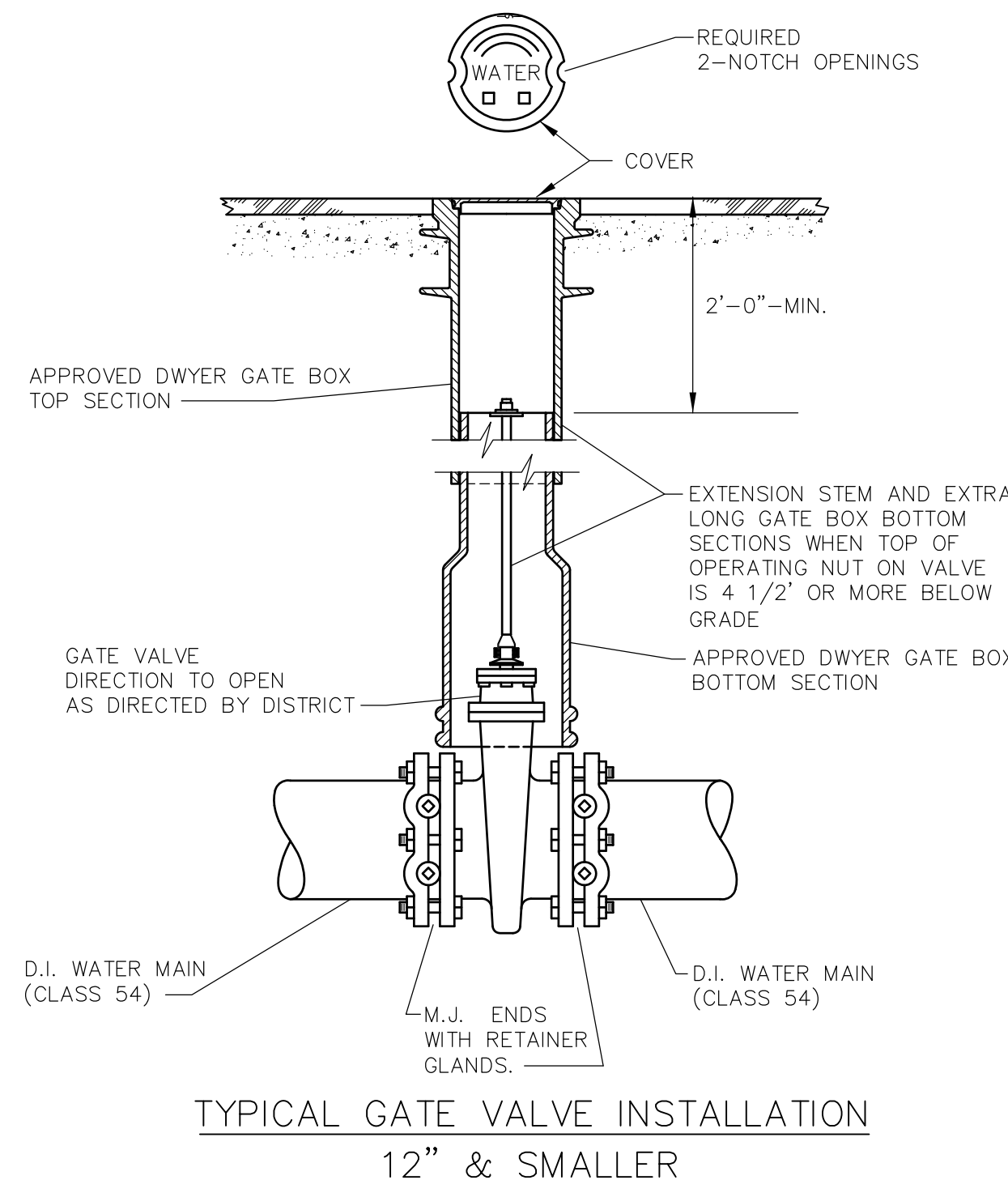
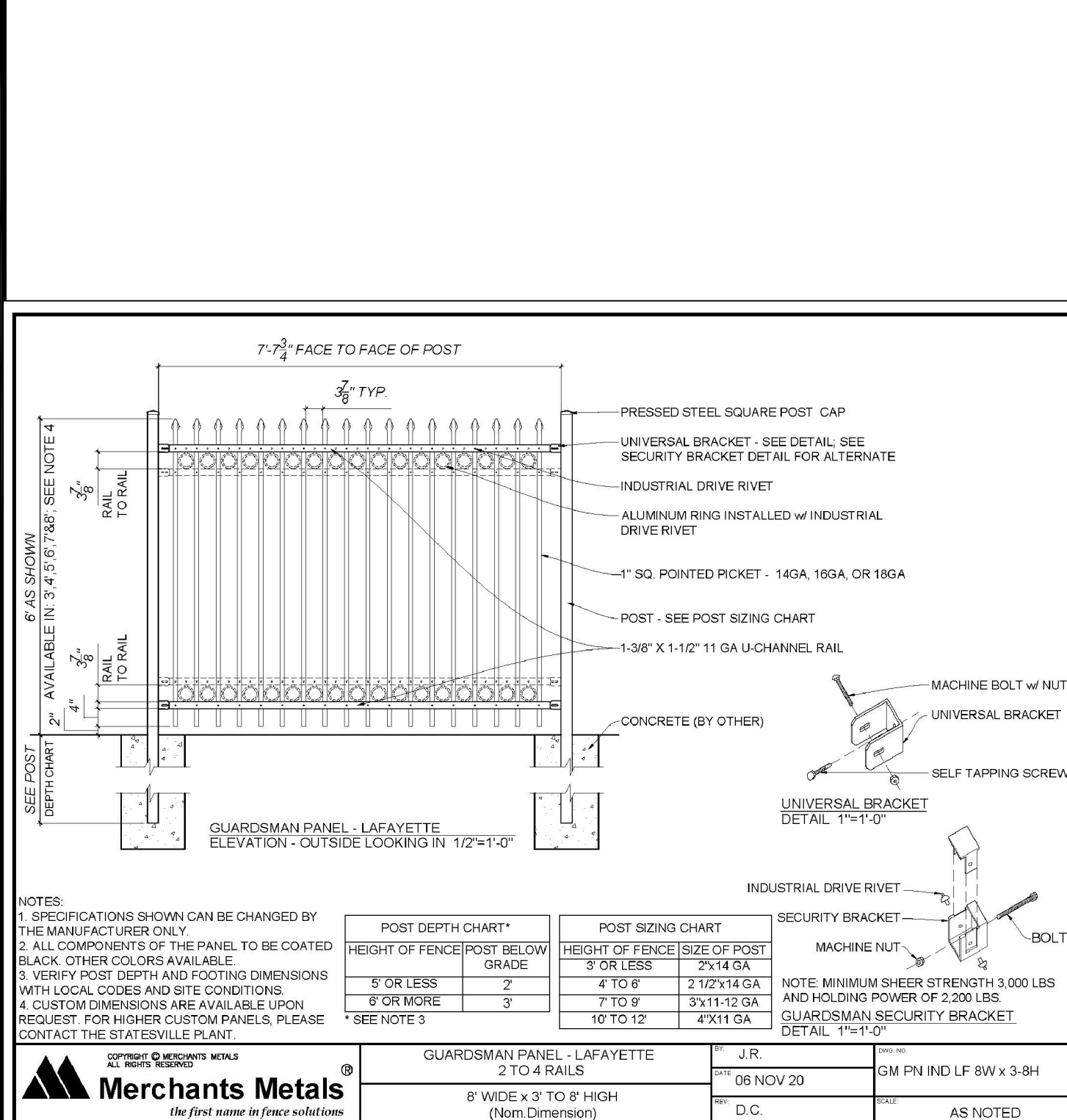
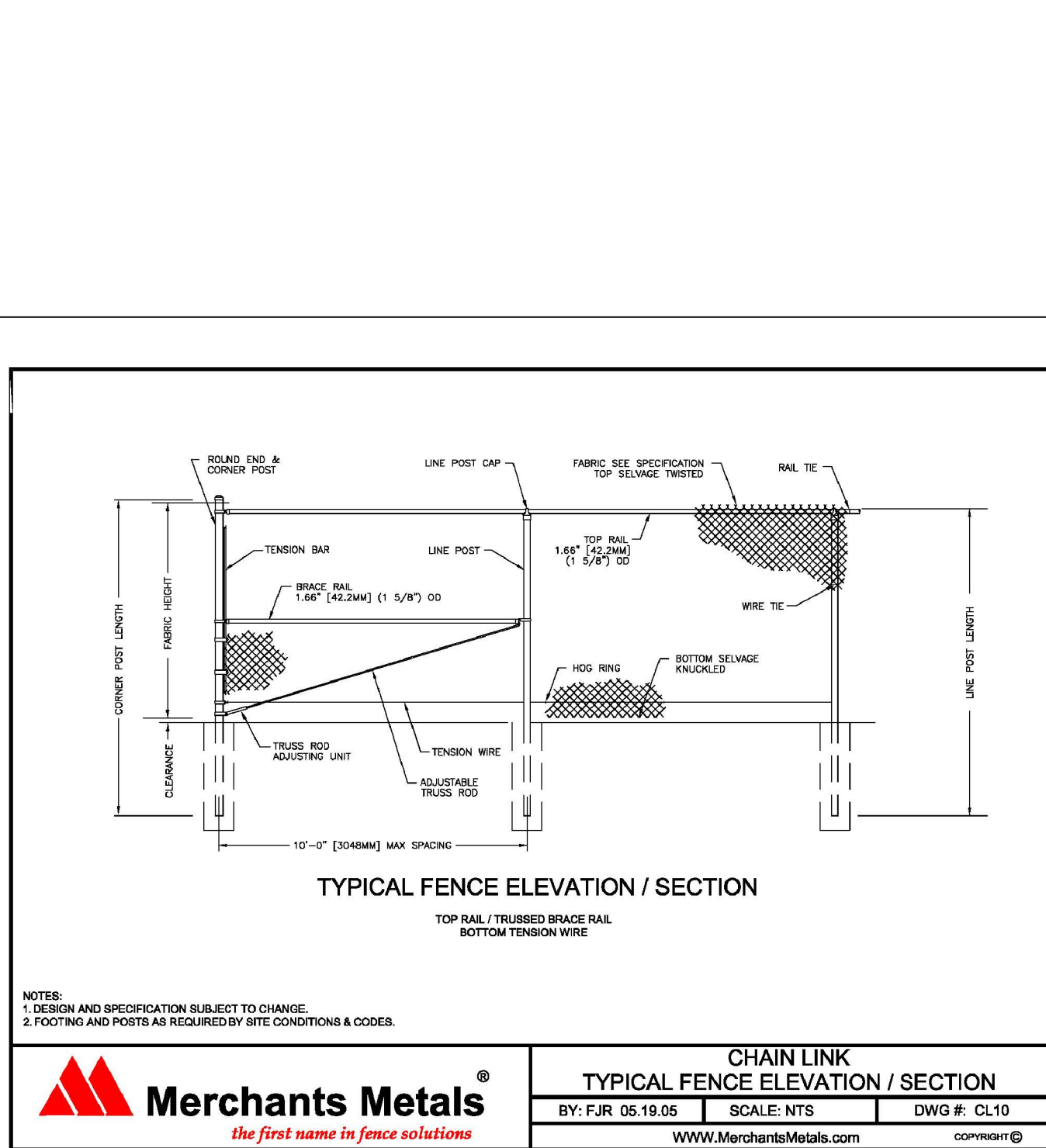
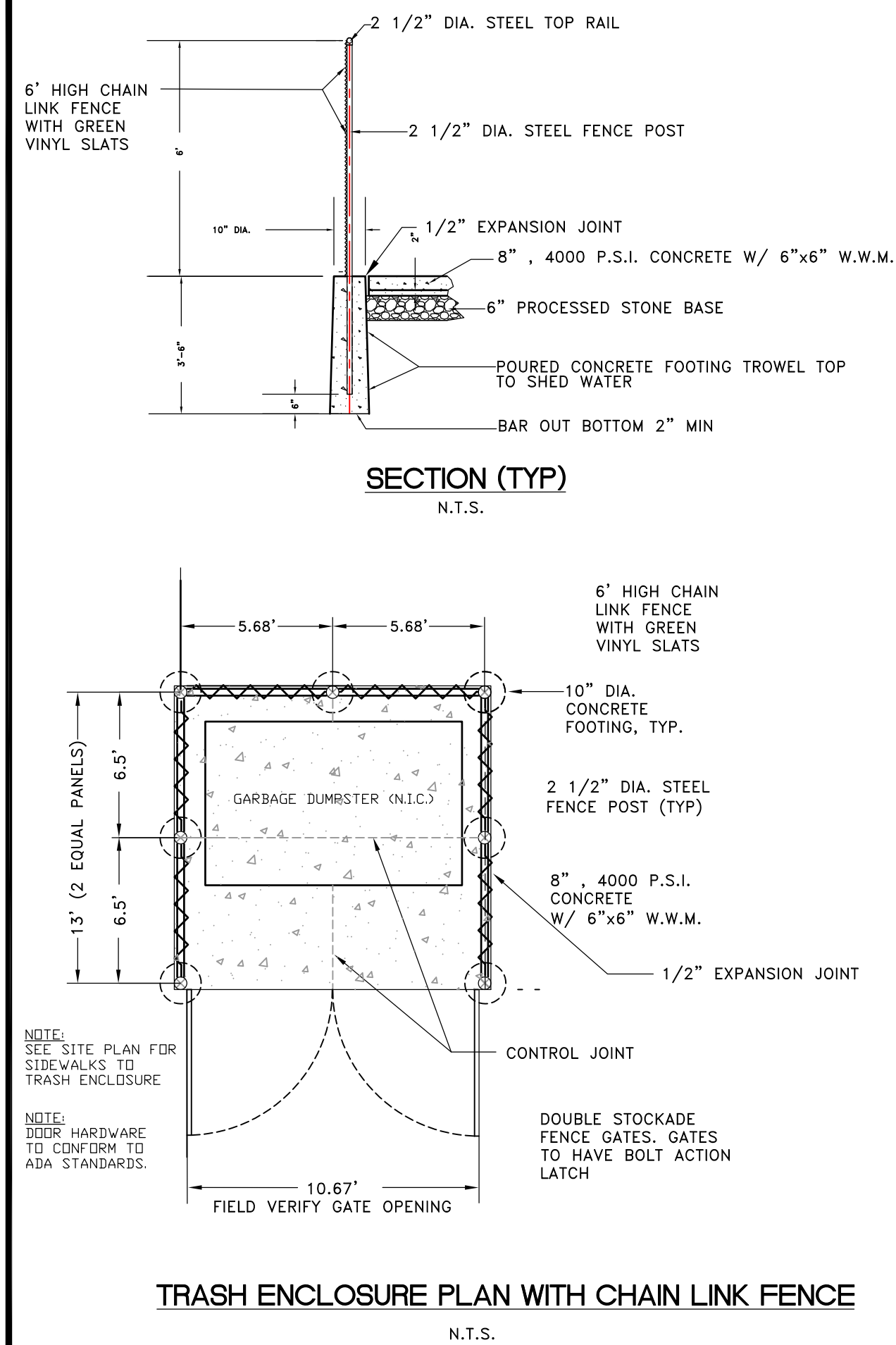
ENGINEERS & LAND SURVEYORS

AIN STREET, UNIT #1A

CROMWELL, CONNECTICUT 06416

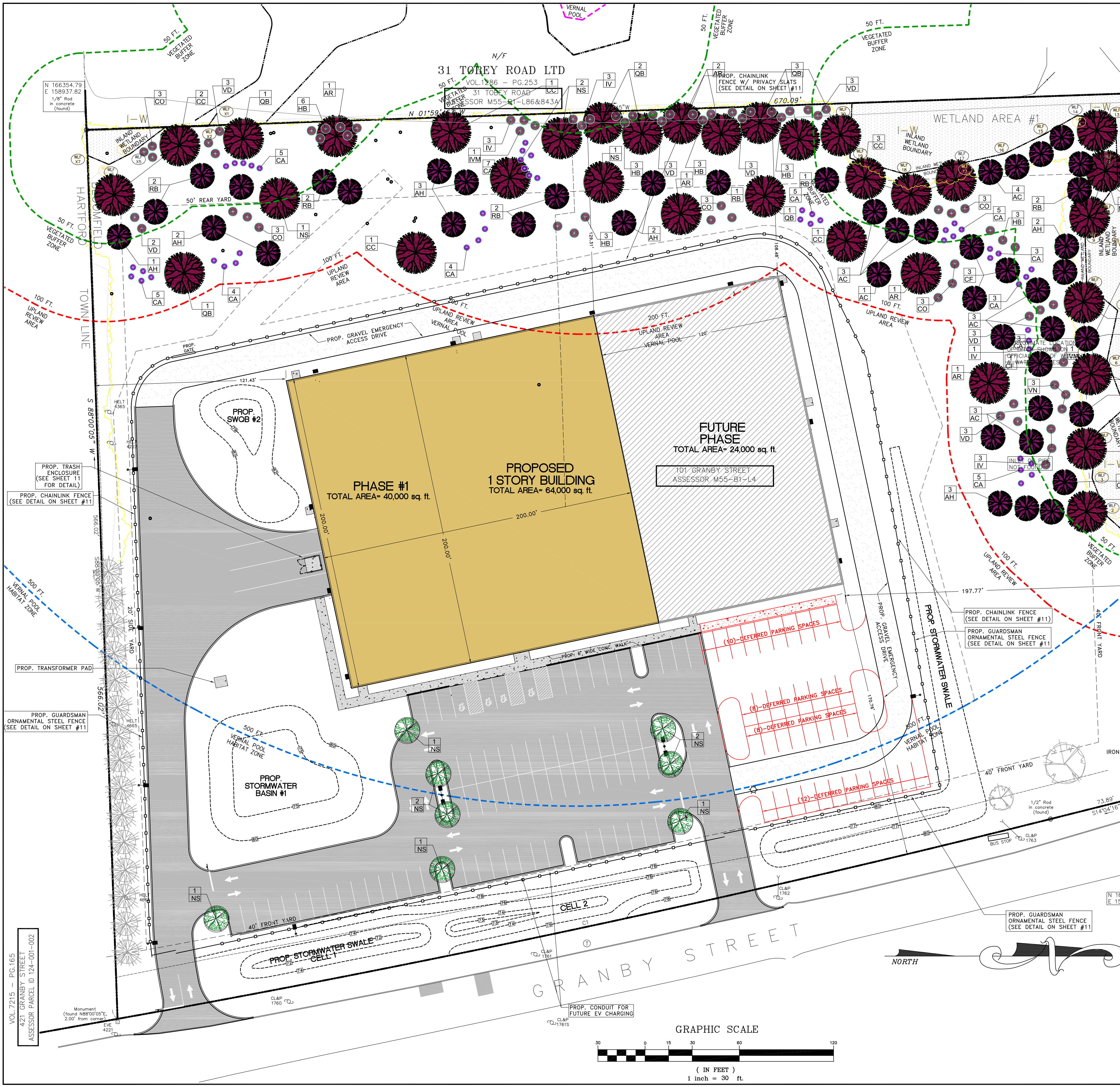
PHONE: (860)-529-6812, FAX: (860)-721-7709

12/01/23 UPDATED BUILDING FOOTPRINT
02/07/25 PER CONDITIONS OF APPROVAL



SITE DETAILS
PREPARED FOR:
AYR WELLNESS
PROPERTY LOCATED AT:
101 GRANBY STREET & TOBEY STREET
BLOOMFIELD, CONNECTICUT





PLANT LIST:

KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE
AC	AMELANCHIER CANADENSIS	SHADELOW	13	3 GAL
AR	ACER RUBRUM	RED MAPLE	10	7 GAL
CC	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	8	7 GAL
RD	CEGUS CANADENSIS	REDBUD	5	5 GAL
CF	CORNUS FLORIDA	FLOWERING DOGWOOD	9	3 GAL
CA	CORNUS ANONUM	SILKY DOGWOOD	49	3 GAL
CO	CERUALANTHUS OCCIDENTALIS	BUTTONBUSH	15	3 GAL
AI	ILEX OPACA	AMERICAN HOLLY	13	7 GAL
IV	ILEX VERTICILLATA, FEMALE	WINTERBERRY, FEMALE	10	3 GAL
VM	ILEX VERTICILLATA, MALE	WINTERBERRY, MALE	2	3 GAL
NS	NYSSA SYLVATICA	BLACK GUM (TUPELO)	7	7 GAL
QP	QUERCUS BICOLOR	SWAMP WHITE OAK	23	7 GAL
HB	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	21	3 GAL
VD	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	9	3 GAL
NS	NYSSA SYLVATICA (PARKING LOT)	BLACK GUM (TUPELO)	8	1 1/2" CALIP.

PLANT NOTES:

1. ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK TO AAN STANDARDS.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWING, THE LARGER NUMBER SHALL APPLY.
3. ALL PLANTS SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE LOCATED ON SITE BY THE CONTRACTOR FOR APPROVAL OF THE LANDSCAPE ARCHITECT OR CIVIL ENGINEER. ANY INSTALLATIONS WHICH WERE NOT APPROVED BY THE LANDSCAPE ARCHITECT OR THE CIVIL ENGINEER AND WHICH ARE SUBSEQUENTLY REQUIRED TO BE MOVED WILL BE DONE AT THE CONTRACTORS EXPENSE.
4. PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON PLAN ARE TO BE FIELD STAKED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE REQUIREMENTS IN THE PREVIOUS NOTE.
5. ALL SHRUB MASSING AND TREE PITS SHALL BE MULCHED TO A DEPTH OF 3" WITH SHREDDED PINE BARK MULCH.
6. TREES SHALL NOT BE STAKED UNLESS OTHERWISE NOTED.
7. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED VEGETATION AND SHALL REPLACE OR REPAIR ANY DAMAGED MATERIAL AT HIS OWN EXPENSE. THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" AT 811 PRIOR TO CONSTRUCTION.
8. ALL SHRUBS AND GRASS PLANTING AREAS SHALL BE HAVE CONTINUOUS BEDS OF TOPSOIL 12" DEEP. ALL LAWN AREAS SHOULD HAVE A MINIMUM TOPSOIL BED OF 6".
9. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD. WHERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR CIVIL ENGINEER TO COORDINATE THEIR INSTALLATION.
10. FOR PLANTING SOIL MIX, SEE SPECIFICATIONS OR PLANTING DETAILS.
11. ALL EXISTING RILL, GULL OR CHANNEL EROSION SHALL BE FILLED WITH APPROPRIATE BACKFILL MATERIAL, FINE RAKED, SCARIFIED AND STABILIZED WITH APPROPRIATE VEGETATIVE MATERIAL AND/OR APPROPRIATE SEDIMENTATION AND EROSION CONTROL MEASURES.
12. ADJUSTMENTS IN THE LOCATIONS OF THE PROPOSED PLANT MATERIAL AS A RESULT OF EXISTING VEGETATION TO REMAIN SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
13. THE CONTRACTOR IS RESPONSIBLE FOR ALL MAINTENANCE REPAIR AND REPLACEMENT OF PLANT MATERIAL AS REQUIRED, FOR THE DURATION OF THE PROJECT AND SUBSEQUENT WARRANTY PERIOD.
14. PLANTINGS INSTALLED IN THE DRY SUMMER MONTHS AND / OR LAWN SEEDING OUT OF SPRING OR FALL PERIODS, IF ALLOWED BY OWNER, WILL REQUIRE AGGRESSIVE IRRIGATION PROGRAMS AT THE CONTRACTORS EXPENSE, UNLESS DIRECTED BY THE OWNER.
15. UPON COMPLETION OF PLANTING, REMOVE FROM SITE ALL EXCESS SOIL, MULCH, AND MATERIALS AND DEBRIS RESULTING FROM WORK OPERATIONS. CLEAN UP SHOULD BE COMPLETED AT THE END OF EACH WORKING DAY. RESTORE TO ORIGINAL CONDITIONS ALL DAMAGED PAVEMENTS, PLANTING AREAS, STRUCTURES AND LAWN AREAS RESULTING FROM LANDSCAPING OPERATIONS.
16. CONTRACTOR SHALL SURVEY, LOCATE, AND PROTECT ALL TREES WITHIN AREAS SHOWN AS "EXISTING VEGETATION TO REMAIN" WITHIN THE DEVELOPMENT ENVELOPE FOR REVIEW BY LANDSCAPE ARCHITECT OR CIVIL ENGINEER PRIOR TO CLEARING OPERATIONS.
17. CONTRACTOR TO RESEED ALL DISTURBED AREAS.

INSTALLATION SCHEDULE and MAINTENANCE PLAN:

1. PLANTING ONLY UNDER FAVORABLE WEATHER CONDITIONS. PLANTING WILL NOT BE PERMITTED WHEN GROUND IS FROZEN OR EXCESSIVELY MOIST.

DECIDUOUS MATERIAL

SPRING: MARCH 21 TO JUNE 01

FALL: SEPT. 01 TO NOV. 01

- IF PLANTING DURING PEAK SUMMER MONTHS OF JULY AND AUGUST, CONTRACTOR SHALL AGGRESSIVELY IRRIGATE PLANTS TO ENSURE ESTABLISHMENT AND SURVIVAL.

2. DO NOT PLANT WHEN GROUND IS FROZEN, SNOW COVERED, OR MUDDY.

3. THE CONTRACTOR IS RESPONSIBLE FOR ALL MAINTENANCE REPAIR AND REPLACEMENT OF PLANT MATERIAL AS REQUIRED, FOR THE DURATION OF THE PROJECT AND SUBSEQUENT PERIOD OF ONE FULL YEAR FROM COMMENCEMENT OF PLANT INSTALLATION.

SEEDING AND MULCHING SPECIFICATIONS:

SEEDING MAY BE OF A PERMANENT OR TEMPORARY TYPE DEPENDING ON THE TIME OF YEAR IT IS DONE. PERMANENT SEEDING SHOULD BE DONE DURING THE PERIODS OF APRIL 1 THROUGH JUNE 1 OR AUGUST 15 THROUGH SEPTEMBER 1.

DISTURBED AREA THAT ARE TO BE RESEED SHALL BE TOPSOILED, LIMED & FERTILIZED PRIOR TO RESEEDING. LABORATORY TESTING OF THE TOPSOIL IS RECOMMENDED TO DETERMINE RATES OF APPLICATION FOR THE LIME AND FERTILIZER. LACKING SUCH TESTING THE FOLLOWING ARE RECOMMENDED:

LIME 1 TONS/ACRE (30 lbs/1000 sq. ft.)

FERTILIZER (10-10-10) (15 lbs/1000 sq. ft.)

SEEDING RECOMMENDATIONS ARE AS FOLLOWS:

TEMPORARY -ANNUAL RYEGRASS @40 LB./ACRE

PERMANENT -KENTUCKY BLUE GRASS @20 LB./ACRE

CREEPING RED FESCUE @20 LB./ACRE

PERENNIAL RYEGRASS @40 LB./ACRE

MULCHING SHALL BE OF A TEMPORARY TYPE, TO PROTECT THE SOIL & SEED FROM EROSION AND TO ALSO PROMOTE PLANT GROWTH. MULCHING SHALL BE DONE AFTER FINAL GRADING AND SEEDING.

MULCHING RECOMMENDATION ARE AS FOLLOWS:

-STRAW OR HAY (FREE FROM WEEDS AND COARSE MATTER)

-SPREAD WITH MULCH BLOWER OR BY HAND

APPLY @ RATE OF 70 - 90 LBS/100 SQ. FT.

LANDSCAPING PLAN

PREPARED FOR:

AYR WELLNESS

PROPERTY LOCATED AT:

101 GRANBY STREET & TOBEY STREET

BLOOMFIELD, CONNECTICUT

HALLISEY, PEARSON & CASSIDY

CIVIL ENGINEERS & LAND SURVEYORS

630 MAIN STREET, UNIT #1A

CROWELL, CONNECTICUT 06416

PHONE: (860)-529-6812. FAX: (860)-721-7709

SCALE: 1"=50'

CHECKED BY: JPC

DRAWN BY: JMP

DATE: MAY 12, 2023

JOB NO.: 3418

ACAD FILE: 3418-LS

SHEET: **LP** OF **1**

REVISIONS:

06/02/23 PER DRAINAGE REPORT

07/07/23 REVISED LAYOUT

08/01/23 UPDATE FOR P&Z

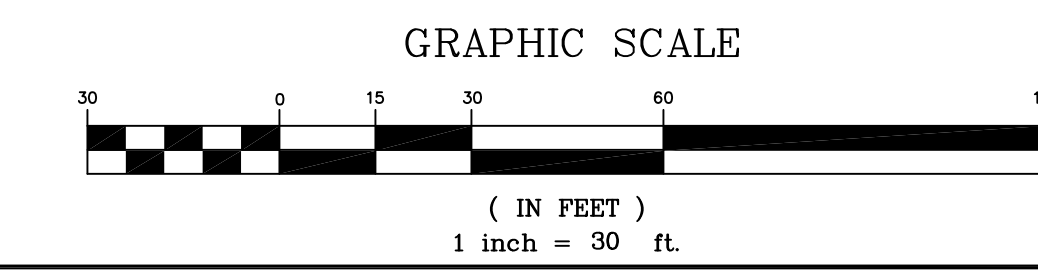
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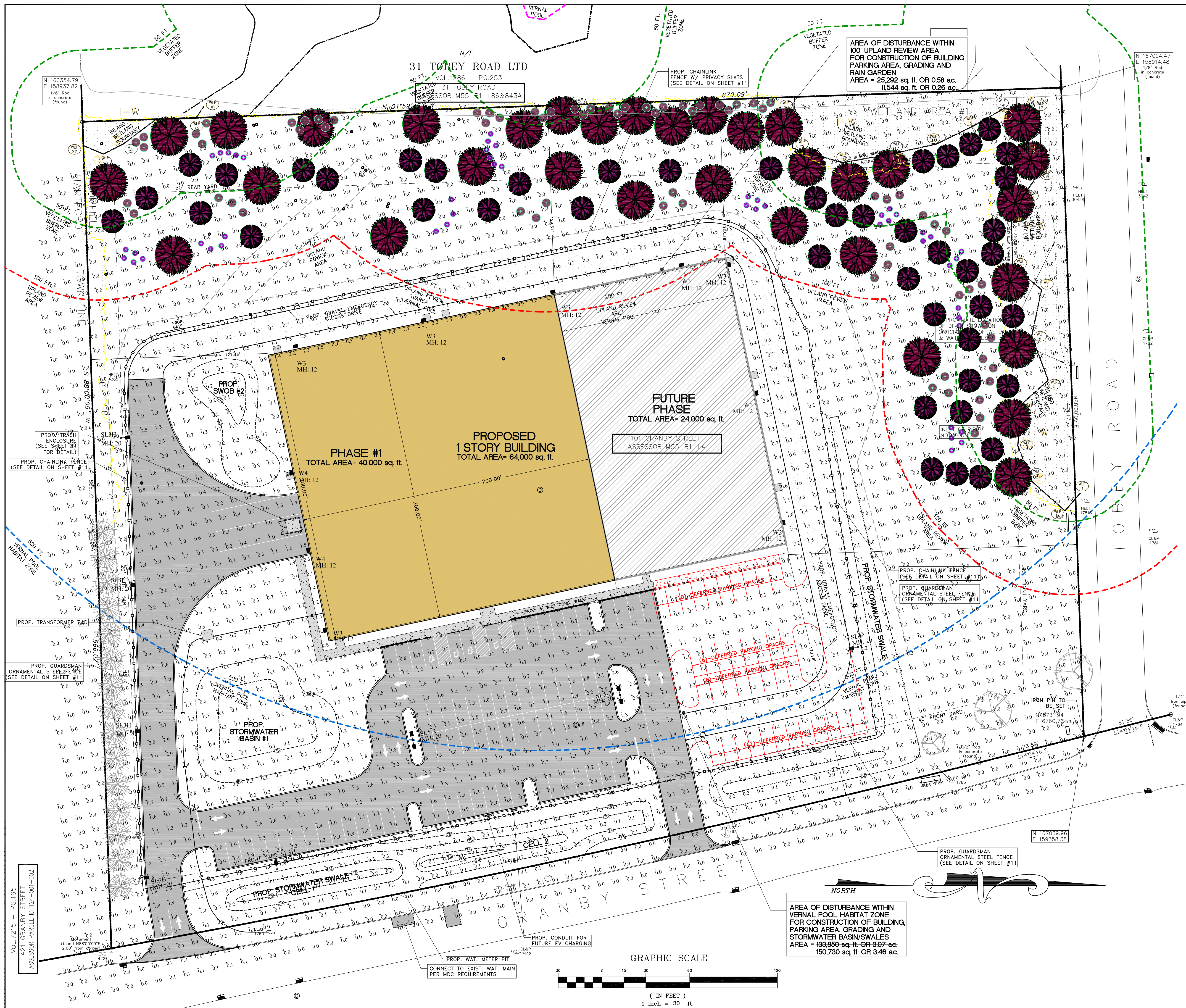
02/07/25 PER CONDITIONS OF APPROVAL

VOL. 7215 - PG. 165

421 GRANBY STREET

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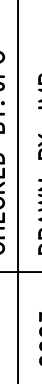
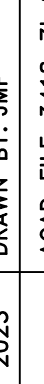




Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Luminaire Lumens	Luminaire Watts	BLG Rating
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■	1	SL4	Single	9976	9.90	B2-U0-G3
■	2	SL5-2	Back-Back	14602	102.17	B4-U0-G3
■	8	W3	Single	3873	0.900	B1-U0-G1
■	2	W4	Single	3944	38.8	B1-U0-G1
Description						
Lithonia DSX1 LED P2 40K 70CRI BL C3 MVOLT SPA PIR DBLXD - SSS 18 4C DM19AS DBLXD 18FT POLE ON 2FT BASE						
Lithonia DSX1 LED P2 40K 70CRI T17M MVOLT SPA PIR DBLXD - SSS 18 4C DM19AS DBLXD 18FT POLE ON 2FT BASE						
Lithonia DSX1 LED P2 40K 70CRI T17M MVOLT SPA DBLXD - SSS 18 4C DM28AS DBLXD 18FT POLE ON 2FT BASE						
Lithonia DSXW1 LED 10C 1000 40K T3M MVOLT BBW PIR DBLXD						
Lithonia DSXW1 LED 10C 1000 40K T3M MVOLT BBW PIR DBLXD						
Lithonia DSXW1 LED 10C 1000 40K T3M MVOLT BBW PIR DBLXD						

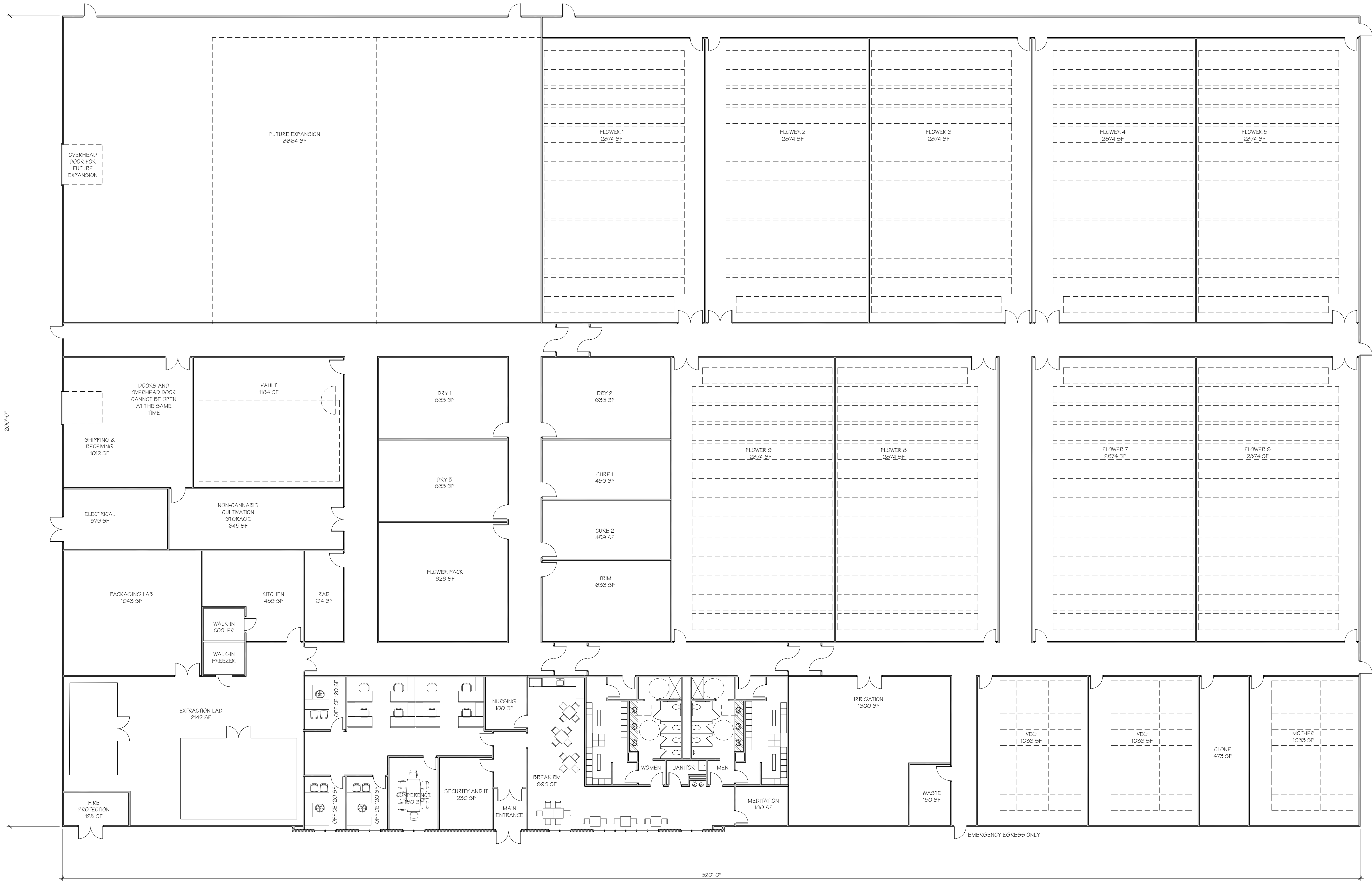
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website: www.lightingaffiliates.com
Voice Number : (860) 721-1171 x 219
Email : gloda@lightingaffiliates.com

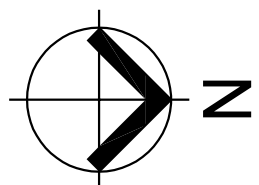
	<p>SITE LIGHTING PLAN PREPARED FOR: AYR WELLNESS PROPERTY LOCATED AT: 101 GRANBY STREET & TOBEY STREET BLOOMFIELD, CONNECTICUT</p>		<p>HALLISEY, PEARSON & CASSIDY CIVIL ENGINEERS & LAND SURVEYORS 630 MAIN STREET, UNIT #1A GROWELL, CONNECTICUT 06416 PHONE: (860)-529-6812, FAX: (860)-721-7709</p>	SCALE: 1"=30'	CHECKED BY: JPC
				DATE: MAY 12, 2023	DRAWN BY: JMP
				JOB NO.: 34118	ACAD FILE: 34118-21-S1
				SHEET: PH OF: 1	
REVISIONS: 05/02/23 PER DRAINAGE REPORT 05/02/23 PER DRAINAGE REPORT 05/01/23 UPDATE FOR P&Z		12/01/23 UPDATED BUILDING FOOTPRINT 02/01/25 PER CONDITIONS OF APPROVAL			

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1 FLOOR PLAN
SCALE: 3/32" = 1'-0"



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RZ DESIGN ASSOCIATES
860-436-4336

Geotechnical Study
WELTI GEOTECHNICAL
860-633-4623

AYR WELLNESS
BLOOMFIELD CULTIVATION FACILITY

101 GRANBY STREET
BLOOMFIELD, CONNECTICUT

Revisions	No.	Date	Description

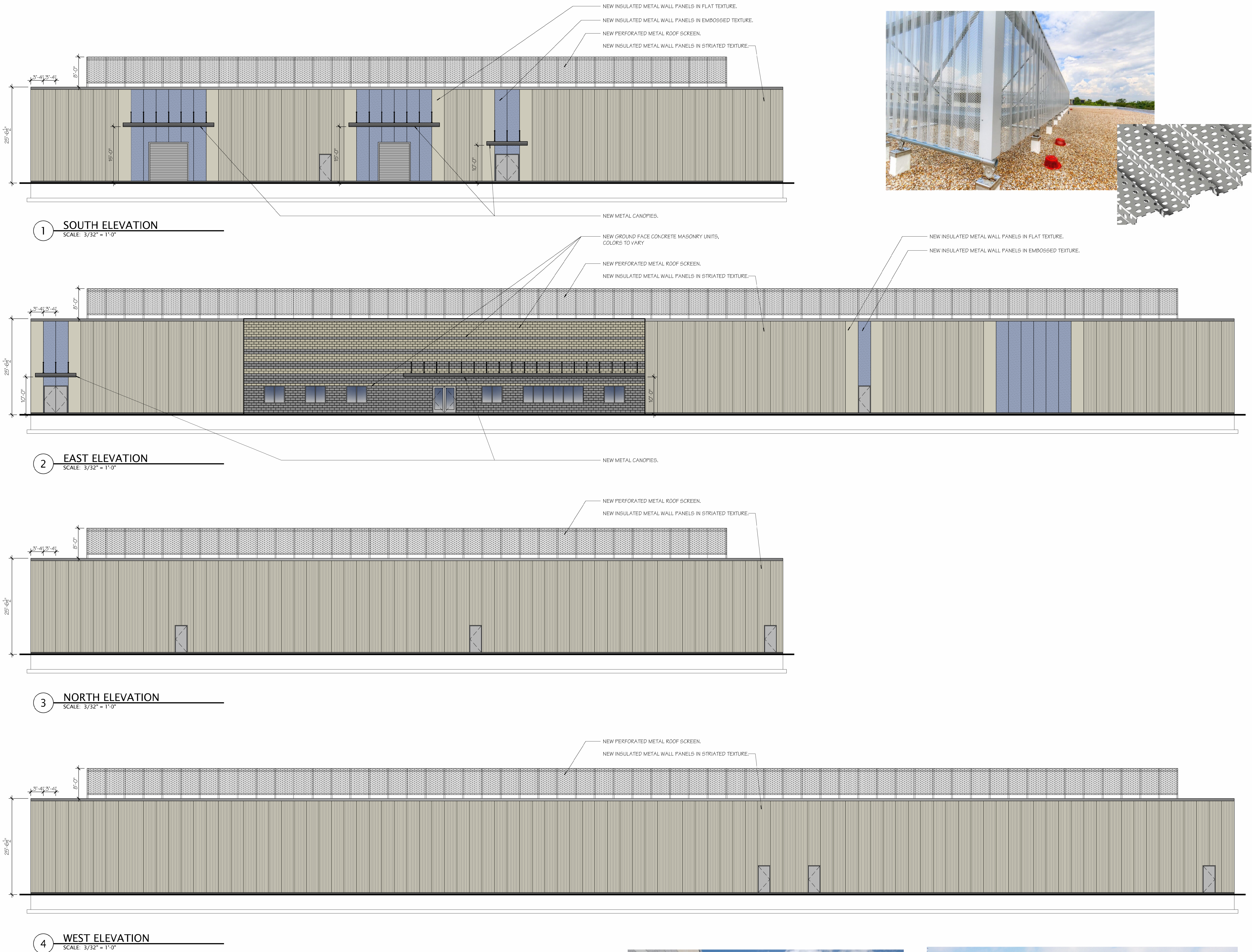
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Project Number 23020
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FLOOR PLAN

SD01

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AYR WELLNESS
BLOOMFIELD CULTIVATION FACILITY

101 GRANBY STREET
BLOOMFIELD, CONNECTICUT

Revisions		
No.	Date	Description

Date	9-28-23
Scale	As Noted
Project Number	23020
Drawn By	KJP

EXTERIOR
BUILDING
ELEVATIONS

SD02